



# BROOKWOOD

A PLANNED RESIDENTIAL COMMUNITY

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## GENERAL DEVELOPMENT PLAN AMENDMENT

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BCE DEVELOPMENT, INC.

**BROOKWOOD  
GENERAL DEVELOPMENT PLAN  
AMENDMENT**

**Prepared For:**

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**Approved by City Council February 5, 1986**

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## I. INTRODUCTION

This presentation booklet has been prepared to provide an overview of the adopted General Development Plan Amendment for the Brookwood Planned Community. It contains background information in Section I; development concepts, circulation and park systems in Section II; and, development standards in Section III.

### A. Objective

The development objective for Brookwood is the construction of a balanced residential community designed to provide amenities and an attractive, high quality living environment for current and future residents of Corona. The General Development Plan Amendment is the first step in the entitlement-to-use process to be followed by subdivision maps and precise plans.

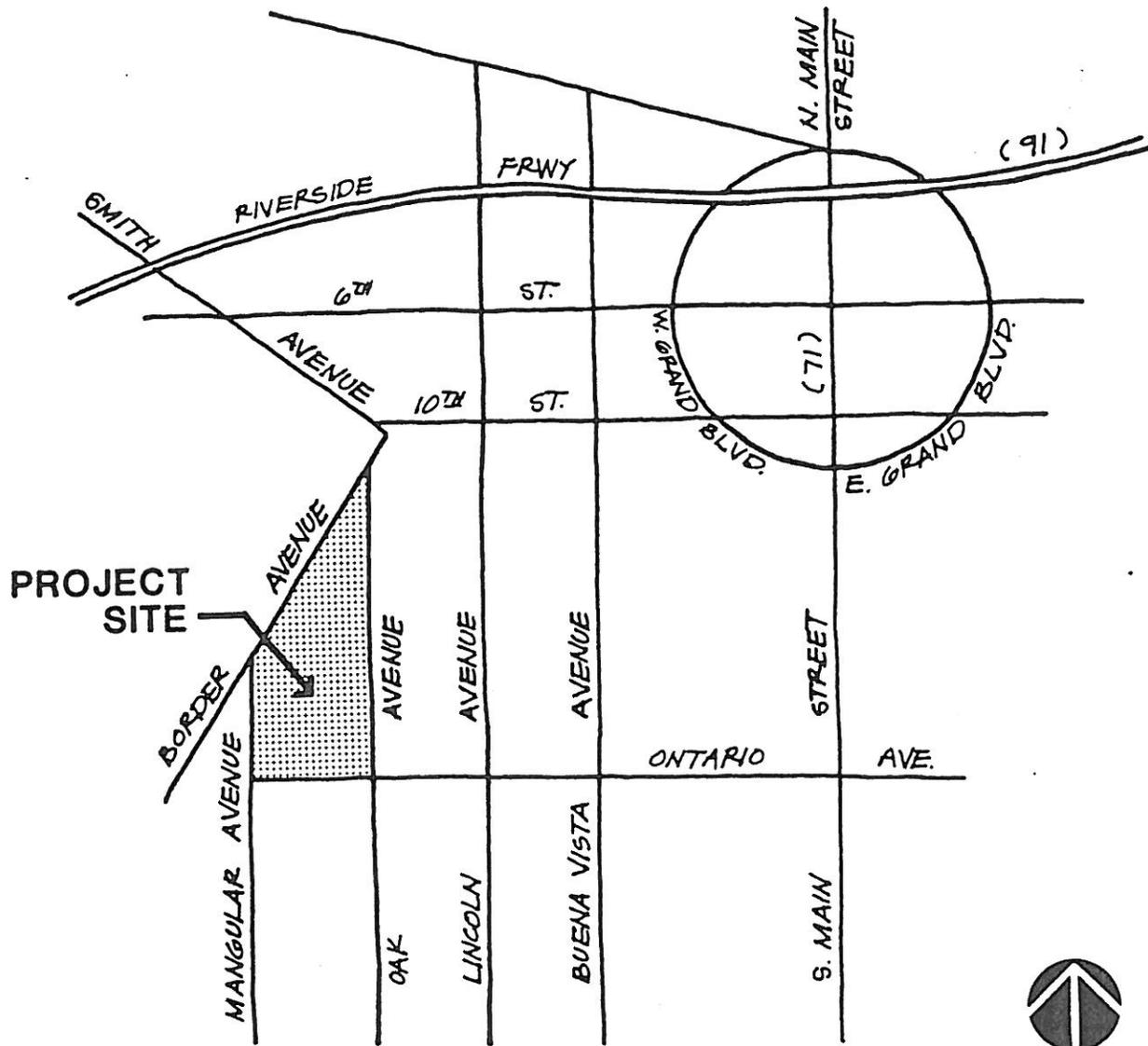
### B. Background

Brookwood is currently a vacant 133.5-acre parcel of land in the Village Grove area of Corona. It is bounded by Border Avenue, the Mangular and Oak Street flood control channels, and Ontario Avenue (Exhibit 1). The project site is surrounded by existing single family and multiple family residential units on the west, northwest and east. A neighborhood commercial center is located at the northeast corner of Border and Via Pacifica. Land to the south of Ontario is in citrus groves.

A General Development Plan for Brookwood was previously approved by the City Council, permitting 1,106 dwelling units with a mix of residential housing types and park sites. This plan was approved as Tentative Tract 19159 in 1983. This previously approved plan was not implemented due to the severity of the recessionary real estate market in the early 1980's.

The purpose for requesting this amendment is based upon the following:

- o The amended plan will better address the strong market demand for single family detached housing;
- o The amended plan simplifies the internal street system while retaining the major connections to the existing off-site circulation network; and,
- o The amended plan creates better neighborhood areas with individual identities bounded by the internal street system.



N.T.S.

# VICINITY MAP

The amendment proposes the reclassification of the residential land use types/densities and the minor redistribution of the approved General Development Plan Amendment. In lieu of the approved townhome units, where the current market is not strong, the General Development Plan Amendment proposes single family detached on minimum 5,000 square foot lots and high density residential apartments.

The approved zero-lot line units included within the existing General Development Plan Amendment are intended to be single family detached patio homes on lots 4,000 square feet or greater or single family attached residential on lots 3,500 square feet or greater. This type of use and lot area is already approved as an integral part of the Brookwood General Development Plan and overall Village Grove Planned Development entitlement. Medium density residential developments within Brookwood, as amended, would be of a similar nature.

Other land uses located within the Brookwood project area include a park site and a storm water detention basin. The original Brookwood GDP approved in the early 1980's includes several "mini-parks" which were to be distributed through the project area. Tentative Tract 19159 and Tentative Tract 19159 RESUB carried over the concept of the several mini-park sites. This amendment proposes a single park site which is to be fully improved by the developer and dedicated to the City for maintenance purposes in-lieu of the payment of park dedication fees. The park site is five acres in area and is located on the northeast corner of Ontario Avenue and Via Pacifica. The improved and dedicated park concept as proposed herein was recommended for approval by the City of Corona Parks and Recreation Commission on August 12, 1985 and November 18, 1985.

In addition to the park concept as described above, the amendment also proposes streetscape enhancements in the way of a 10 foot landscaped lot along Via Pacifica, a meandering sidewalk along Via Pacifica and attractive wall treatments adjacent to the single family residential areas.

In regard to the storm water detention basin, the amendment proposes a minor reduction in the area of the basin from 4.9 to 3.5 acres. This was done because the detention basin had originally been planned as a joint use detention basin/park facility to be maintained by a maintenance district. The 4.9 acre area was necessary to accommodate a sports park theme. This concept was not supported by the City Parks and Recreation Commission and, therefore, the detention basin site was reduced in overall area.

As stated previously, this amendment proposes a change to the approved internal circulation system. The amendment is to simplify the circulation system and create better neighborhood areas.

**LEGAL DESCRIPTION**

BEING LOT 2, BLOCK 41, RIVERSIDE LAND & WATER CO. N.B. 81/8 & LOTS 26 THROUGH 35, INCLUSIVE, (SUBDIVISION OF BLOCK 41, SOUTH RIVERSIDE COUNTY LAND N.B. 81/8, RECORDS OF SAN BEBAPINGO COUNTY AND LOT 326, AMENDED DIV. 2, MAP OF ORANGE HEIGHTS SOUTH RIVERSIDE), N.B. 272.

**GENERAL NOTES**

1. LOTS CREATED HEREBY ARE NOT FOR BUILDING PURPOSES, BUT ARE FOR FIRMING PURPOSES ONLY, EXCEPT LOT 1 WHICH IS FOR ONE LOT CONDO-RETENTION PURPOSES AND LOT 1 WHICH IS FOR RETENTION BASIN PURPOSES.
2. PREPARED: MARCH 1964
3. APPROXIMATE AREA: 133.5 AC.
4. NUMBER OF LOTS: 14
5. PROPOSED NUMBER OF FINAL PMPs: 2
6. GENERAL PLAN DESIGNATION: MED. DENSITY RESIDENTIAL (4-15 DU/AC) GENERAL DEV. PLAN PD 64-2
7. EXISTING ZONING: PCD (WITH PP-1 DESIGNATION)
8. PROPOSED ZONING: PCD (WITH PP-1 DESIGNATION)
9. ADJACENT LAND USES: NORTH - 4-1/2-AC/PROLE HOME PARK/HIGH SCHOOL  
EAST - VACANT/7-1  
SOUTH - CITRUS GROVE  
WEST - 4-1/2-AC/1-1/2-SIDE YARD/COMMERCIAL
10. EXISTING USE: VACANT
11. PROPOSED USE: VACANT/SUBDIVISION ONLY LOTS 2-5 AND 7-14  
ONE LOT CONDO LOT 6, RETENTION BASIN LOT 1
12. SETBACKS: NOT APPLICABLE
13. ALL STREETS SHOWN HEREON SHALL BE DEDICATED TO THE CITY OF CORONA FOR PUBLIC RIGHT-OF-WAY.
14. STREET GRADES: 0.4% MIN.
15. ALL LOT LINES AND DIMENSIONS ARE APPROPRIATE.
16. PROPOSED NO. OF PHASES 3, PHASE I - LOT 1, PHASE II - LOT 6, PHASE III - LOTS 2-5, AND 7-14

**LOT TABULATION**

LOT	AREA	LOT	AREA
1	4.9	8	7.5
2	8.0	9	9.7
3	7.6	10	4.0
4	5.3	11	8.2
5	11.3	12	5.0
6	15.2	13	11.4
7	10.4	14	7.1

**AREA DISPOSITION**

1. LOTS 2 - 14	110.7 AC.
2. LOT 1 - RETENTION BASIN	4.9 AC.
3. STREETS	17.9 AC.
<b>TOTAL:</b>	<b>133.5 AC.</b>

**LEGEND**

- CENTERLINE
- LOT LINE
- DIRECTION OF STREET FLOW
- DATE OF GRADE
- STORM DRAIN
- CATCH BASIN
- SEWER WITH MANHOLE
- WATER

**CONSTRUCTION NOTES:**

- ① CONST. PCC CURB AND GUTTER
- ② CONST. AC/AS PAVEMENT
- ③ CONST. PCC SIDEWALK
- ④ CONST. GRADED SHOULDER

**UTILITY NOTES**

- WATER** - CITY OF CORONA  
815 N. 6TH STREET  
CORONA, CA 92720  
(714) 736-2265
- SEWER** - CITY OF CORONA  
815 N. 6TH STREET  
CORONA, CA 92720  
(714) 736-2265
- POWER** - SOUTHERN CALIFORNIA EDISON CO.  
325 N. COTA STREET  
CORONA, CA 92720  
(714) 737-3000
- GAS** - SOUTHERN CALIFORNIA GAS CO.  
3700 CENTRAL AVENUE  
RIVERSIDE, CA 92506  
(714) 781-6114
- TELEPHONE** - PACIFIC TELEPHONE  
3085 ADAMS AVENUE  
RIVERSIDE, CA 92504  
(714) 644-0016

UTILITY EASEMENTS WILL BE GRANTED AND OR DEDICATED AS REQUIRED.

**DIME/SUBDIVIDER**

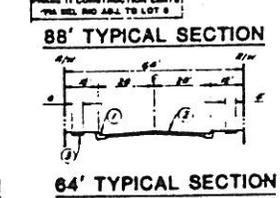
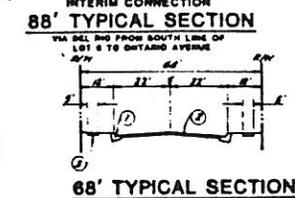
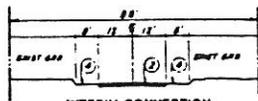
DIME CORPORATION  
4350 VAN KAMPAN, SUITE 100  
MIDWINTER BEACH, CA 92660  
(714) 476-2756  
CONTACT: JOE PERRING

**ENGINEER**

C N ENGINEERING ASSOCIATES  
550 WEST VISTA WAY, SUITE 304  
VISTA, CA 92083  
(619) 754-3640  
CONTACT: WILLIAM H. BASHAM

PREPARED UNDER THE SUPERVISION OF:

*William H. Basham*  
WILLIAM H. BASHAM  
D-95-05  
D.C.E. 078910  
C N ENGINEERING ASSOCIATES  
AGENT FOR DIME



**(RESUBMITTED) TENTATIVE MAP TRACT NO. 19159**



The amended plans retain Via Pacifica in its approved configuration and the Via Pacifica connections with existing Citron Street and Kroonen Drive have been simplified. A bridge over the Oak Street Channel at Citron Avenue has been required as condition of the recordation of Tract 19159 (RESUB) while a bridge at Kroonen Drive over the Mangular Channel currently exists. The developer proposes to guarantee the future construction of the bridge at Citron Avenue and one-half of the cost of construction of a bridge over the Oak Street Channel at Ontario Avenue.

The final part of this General Development Plan Amendment includes development standards to establish basic design criteria for the three residential land use types/densities. The proposed development standards embody criteria currently included within Titles 16 (Subdivisions) and 17 (Zoning) of the Corona Municipal Code or adopted specific plans. The development standards are included to guide Brookwood development to achieve a consistent attractive appearance throughout.

#### C. Entitlement Process

The Brookwood entitlement process is regulated by Section 17.52 of the Corona Zoning Ordinance. An amendment to the General Development Plan for the Brookwood portion of the Village Grove Planned Community is required in order to adopt the proposed development concept. The remainder of the entitlement process will consist of subdivision maps and precise plans addressing the individual residential product sites. Planning Area F, a high density residential product site and Planning Area I, the Detention Basin have recently received subdivision approval by the Planning Commission and City Council as the first two phases of resubmitted Tentative Tract 19159. Engineering improvement plans for Border Avenue, Via Pacifica and other infrastructure components shown as phases 1 and 2 of Tentative Tract 19159 RESUB, consistent with the conditions of approval, have been submitted for plan check with this GDP Amendment process.

#### D. Additional Supporting Studies

Several technical studies have been prepared for review by the City in support of the Brookwood GDP Amendment. A comprehensive traffic report has been submitted to City staff which evaluates the existing and proposed circulation network and analyzes traffic impacts generated by the proposed development. The traffic report concludes that the development of Brookwood and its planned circulation system improvements will upgrade the existing conditions and complete the road network. In addition, a technical parking study was prepared addressing a modified parking requirement for the High Density Residential development. This new parking ratio is one of several special standards that have been created for Brookwood in order to establish the necessary planning parameters for the Precise Plans to follow.

## II. GENERAL DEVELOPMENT PLAN

The proposed General Development Plan Amendment for Brookwood is a product of many months of market research, land use planning, traffic analysis, park programming and alternatives assessment, in order to develop a balanced plan that the City will support as a positive contribution to the community.

### A. Development Concept

Brookwood is envisioned as a quality planned community with a mix of residential types and densities. The neighborhood park to be constructed at Via Pacifica and Ontario Avenue will provide convenient recreation for residents of Brookwood and existing neighborhoods. The project is bisected by a backbone street, Via Pacifica, which will be a specially landscaped internal road. Significant building setbacks are planned to separate new residences from existing surrounding homes. While the precise site planning for the various residential product types has not yet been completed, the development concept is to promote a sense of design continuity and consistency without the repetitiveness or sameness. The streetscape, park and circulation systems will serve to integrate the project as a whole.

The overall development concept is illustrated in Exhibit 3, an illustrative of the Brookwood site once completed. The plan clearly illustrates the enhanced streetscape and landscaping along Via Pacifica and other collector streets as well as the balanced community of low, medium and high density residential neighborhoods. The plan illustrates that Brookwood, as proposed within this GDP Amendment, is a planned community that will be an asset to the city.

### B. Land Use

Exhibit 4, Land Use, presents the proposed land uses for Brookwood. There are three different types of residential development proposed for seven separate planning areas.

High Density Residential (HDR) units are proposed as either apartments or condominiums at 18-22 du/acre on two planning areas at the southwest corner of Border and Via Pacifica and the southeast corner of Via Pacifica and Citron. These HDR sites will consist of stacked flat units with private patios/balconies, common areas including on-site recreational areas, and a mix of covered and open parking at 2.0 stalls per dwelling unit.

Medium Density Residential (MDR) units are planned for two sites at the southeast corner of Border and Via Pacifica and the northeast corner of Via Pacifica and Ontario. These MDR units are planned as attached or detached single family residential



**BROOKWOOD**  
DAON CORPORATION



**prc**  
PRC Engineering  
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Denver, CO 80231  
303.751.1111  
www.prc-engineering.com

12.14.01

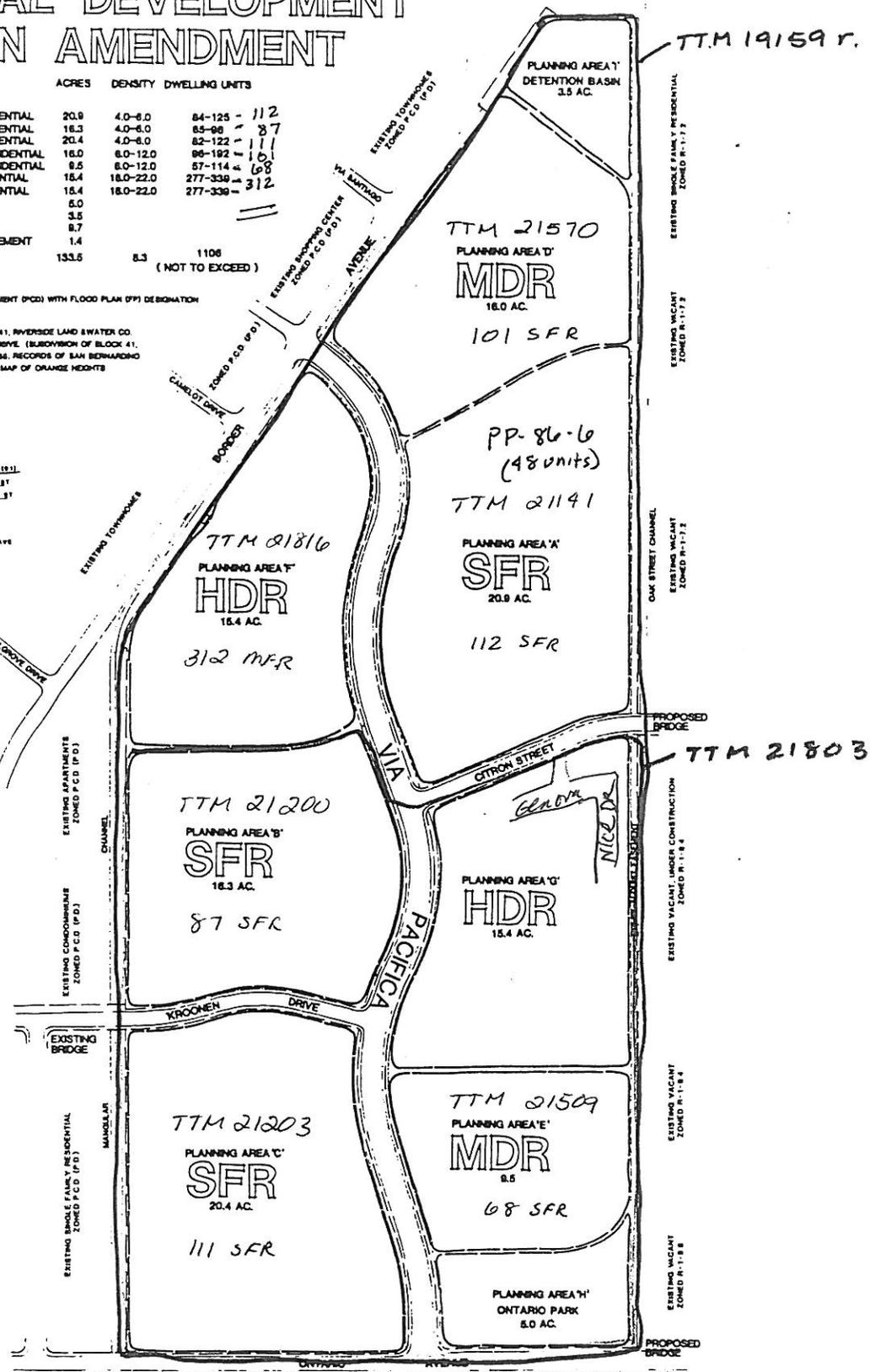
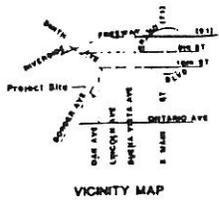
# GENERAL DEVELOPMENT PLAN AMENDMENT

HIGH SCHOOL ZONED R-1-8.4

PLANNING AREA	LAND USE DESIGNATION	ACRES	DENSITY	DWELLING UNITS
A	SINGLE FAMILY RESIDENTIAL	20.9	4.0-6.0	84-125 = 112
B	SINGLE FAMILY RESIDENTIAL	16.3	4.0-6.0	65-98 = 87
C	SINGLE FAMILY RESIDENTIAL	20.4	4.0-6.0	82-122 = 111
D	MEDIUM DENSITY RESIDENTIAL	16.0	6.0-12.0	96-192 = 161
E	MEDIUM DENSITY RESIDENTIAL	8.5	6.0-12.0	57-114 = 68
F	HIGH DENSITY RESIDENTIAL	16.4	18.0-22.0	277-338 = 312
G	HIGH DENSITY RESIDENTIAL	16.4	18.0-22.0	277-338 = 312
H	ONTARIO PARK	6.0		
I	DETENTION BASIN	3.5		
	ROADS	8.7		
	COLBY-ALQUIST EASEMENT	1.4		
<b>TOTAL</b>		<b>133.6</b>	<b>8.3</b>	<b>1108</b> (NOT TO EXCEED)

ZONING: PLANNED COMMUNITY DEVELOPMENT (PCD) WITH FLOOD PLAN (FP) DESIGNATION

LEGAL DESCRIPTION: BEING LOT 2, BLOCK 41, RIVERSIDE LAND & WATER CO. S.W. 1/4 & LOTS 28 THROUGH 35 INCLUSIVE, (SUBDIVISION OF BLOCK 41, SOUTH RIVERSIDE COLONY) LAND S.W. 1/4, RECORDS OF SAN BERNARDINO COUNTY AND LOT 326, AMENDED DIV. 2 MAP OF ORANGE HEIGHTS SOUTH RIVERSIDE A.B. 372.



BROOKWOOD  
DAON CORPORATION

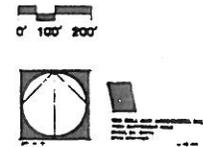
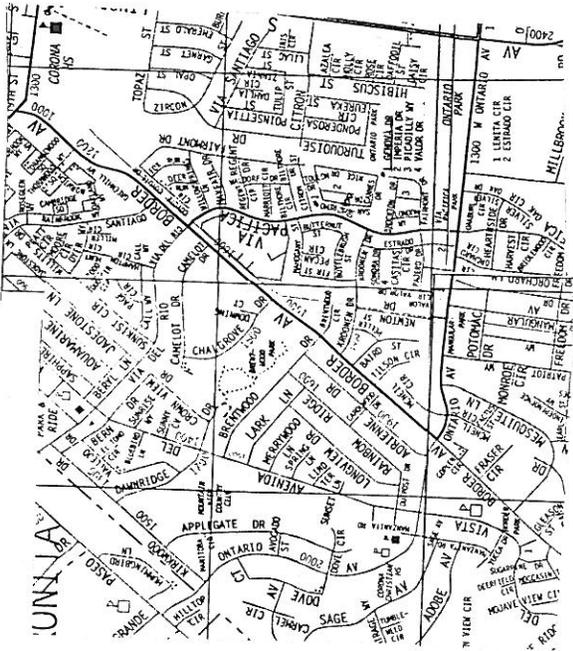


EXHIBIT 4



units, townhomes, duplexes or patio homes within a range of 6-12 du/acre. These projects may have common areas and private streets.

Single Family Residential (SFR) detached homes are proposed on minimum 5,000 square foot lots in three separate planning areas on 55 acres. These homes are envisioned as conventional or zero lot line single family houses on public streets.

#### C. Traffic Circulation

Brookwood is bounded by two arterial streets, Border and Ontario Avenues. The City's Circulation Plan shows a secondary roadway connection between Border and Ontario Avenues. Via Pacifica will serve as this connection, with the side linkages in the form of local streets Kroonen Drive at 64 feet of right-of-way and Citron Street as a collector at 68 feet of right-of-way. As arterial streets, Border, Ontario and Via Pacifica will not have direct residential access.

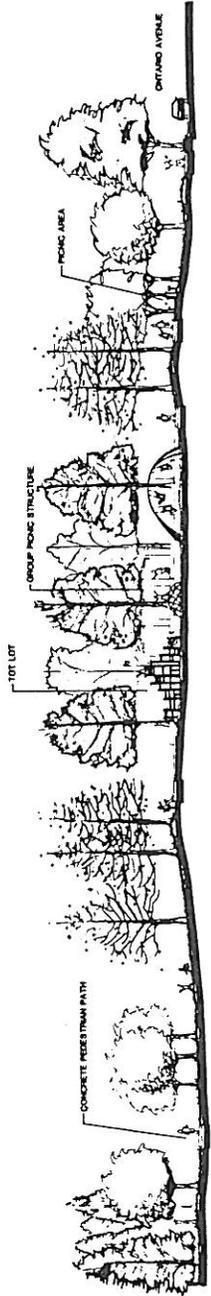
The circulation element and street improvements, as proposed, will be adequate to accommodate traffic from existing plus project plus other planned cumulative development.

#### D. Park Program

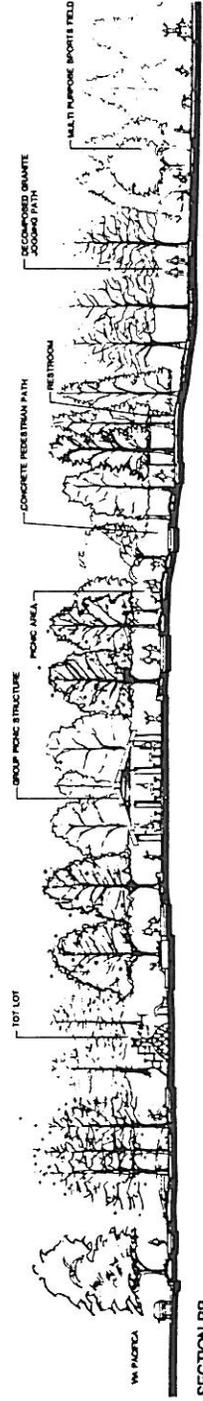
The Brookwood park program proposes the improvement and dedication of a five acre neighborhood park at Ontario Avenue. This park program has been recommended for approval by the City's Park and Recreation Commission on August 12, 1985 and November 18, 1985. the park program is designed to fulfill the project requirements relating to the City's local park code and the state Quimby Act.

Ontario Avenue Park (Exhibit 5) is envisioned as a full-service, active recreational facility located in an accessible area that encourages use by both Brookwood and other Corona residents. The new park will also provide an attractive streetscape along Ontario Avenue. This five-acre park is planned to contain an upper pad with amenities including a tot lot, basketball court, picnic areas, restrooms and an open play field. The lower pad will be large enough to accommodate a regulation youth soccer and softball field. A jogging/par course will be designed around the perimeter of the park.

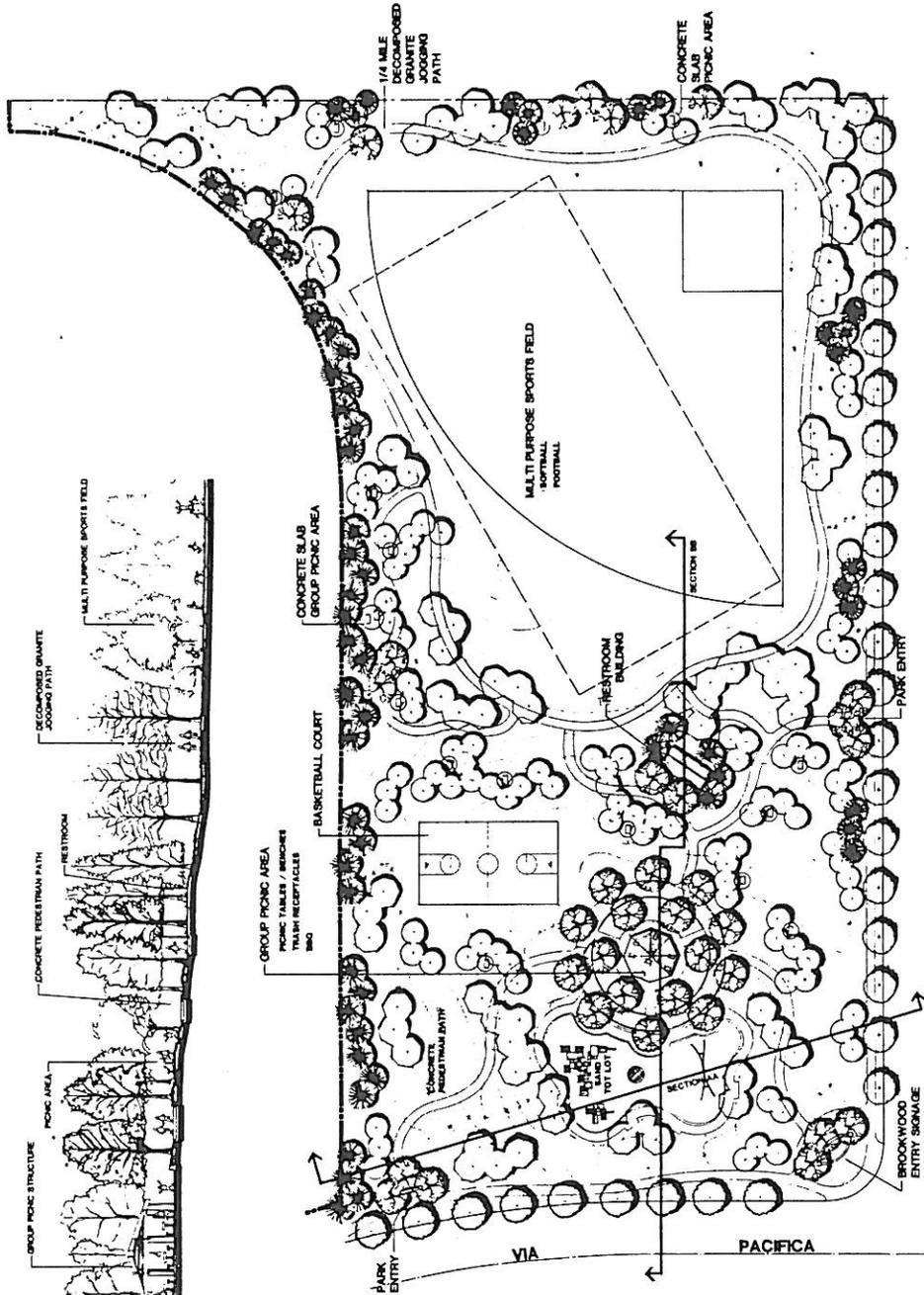
A portion of Ontario Avenue Park site is subject to temporary storm inundation, and the parks and recreation improvements have been designed to reflect this condition. The lower pad of the Ontario Avenue Park is in the 100-year flood plain until the Oak Street Channel is fully improved.



SECTION AA



SECTION BB



**LEGEND**

- ALNUS RHOMBIFOLIA
- URTICA DIODORA
- JACARANDA ACUTIFOLIA
- PLATANUS RACEMOSA
- TRISTANA CONFERTA
- PINUS HALEPENSIS
- TURF

**CONCEPT PLAN  
ONTARIO AVENUE PARK**

DAON CORPORATION



The proposed park program, upon recommendation of the Parks Commission, consists of the dedication and improvement of Ontario Avenue Park. In addition to the Ontario Avenue Park site, Daon is also proposing to dedicate to the City 1.4 acres of land along the easterly boundary of the property. This land is located within a 20-foot wide Colby-Alquist easement adjacent to the Oak Street Channel. The offer of dedication would allow for the future construction of a recreational trail along this alignment by the City. Such a trail could link together the southern portion of the Brookwood community and Ontario Park with Corona High School, and is consistent with the recommendation of the Parks and Recreation Element of the General Plan.

#### E. Community Design

Several community design elements will be utilized to provide an attractive, high quality image and appearance for the Brookwood Planned Community (Exhibit 6). Major entry statements are planned at Border and Via Pacifica and at Via Pacifica and Ontario. These entry treatments will consist of special landscaping, walls and signage to demarcate the primary entrances to the Brookwood community (Exhibits 7, 8 and 9).

Via Pacifica will be designed as a curvilinear street with special landscaping in widened parkways to create an attractive open space appearance. An additional 10 feet of landscaped setback will be provided in addition to the Via Pacifica parkway on both sides of the street (Exhibit 10). The sidewalk will gently meander within the expanded parkway between rows of canopy trees. Plant materials have been identified in Exhibit 6, but may be modified subject to the discretion of the Planning Director without an amendment to the GDP.

Decorative slumpstone block walls and/or wrought iron fences will be developed around the perimeter of the project, except along Ontario Avenue adjacent to the park, adjacent to the multiple family residential sites and adjacent to the cul-de-sac openings into the single family neighborhoods. A special wall and fence treatment is planned along Border Avenue consistent with the conditions of approval for resubmitted Tentative Tract 19159. Decorative block walls may be provided along Via Pacifica and Citron Street, except at the High Density Residential sites where no wall will be provided. At the HDR sites, the intention is to provide for views of the project architecture and landscape design from Via Pacifica (Exhibit 10). Cul-de-sac openings into the single family neighborhoods along Via Pacifica may also be provided for more convenient pedestrian access (Exhibit 13).



## F. Flood Control

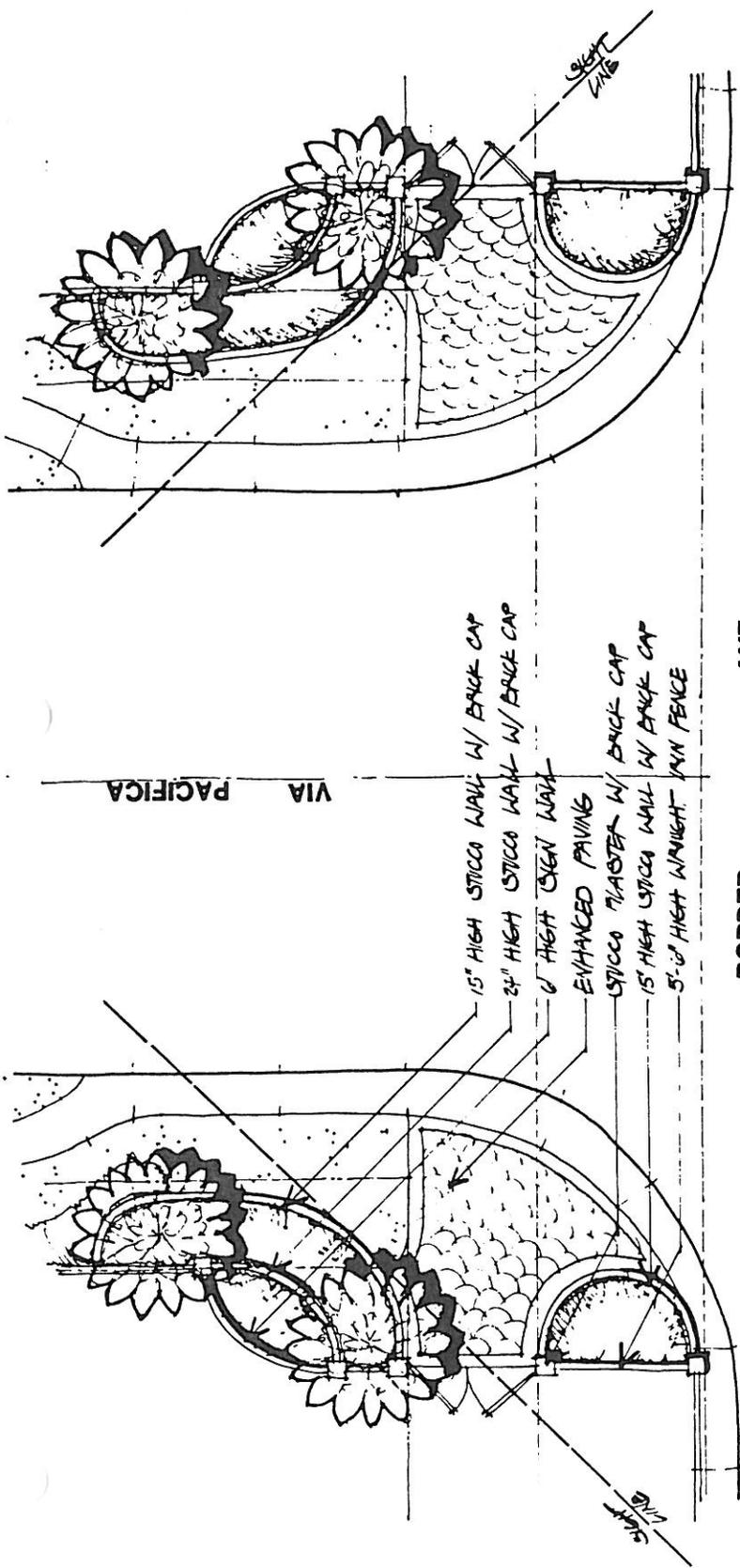
The two flood control channels are major considerations in the planning of Brookwood. Bridges will be constructed over both the Mangular and Oak Street channels to provide access to the Brookwood community.

Walls and gates will be provided for the Mangular Channel for security and flood control access, consistent with the resubmitted Tentative Tract 19159 conditions of approval. The Oak Street Channel is tentatively planned for full improvement by the Corps of Engineers before 1990. This will require use of the Colby-Alquist easement for construction purposes; therefore, development has been restricted from this easement. The land within this easement is proposed to be dedicated to the City. The City's General Plan Recreation Element illustrates a trail paralleling the Oak Street Channel.

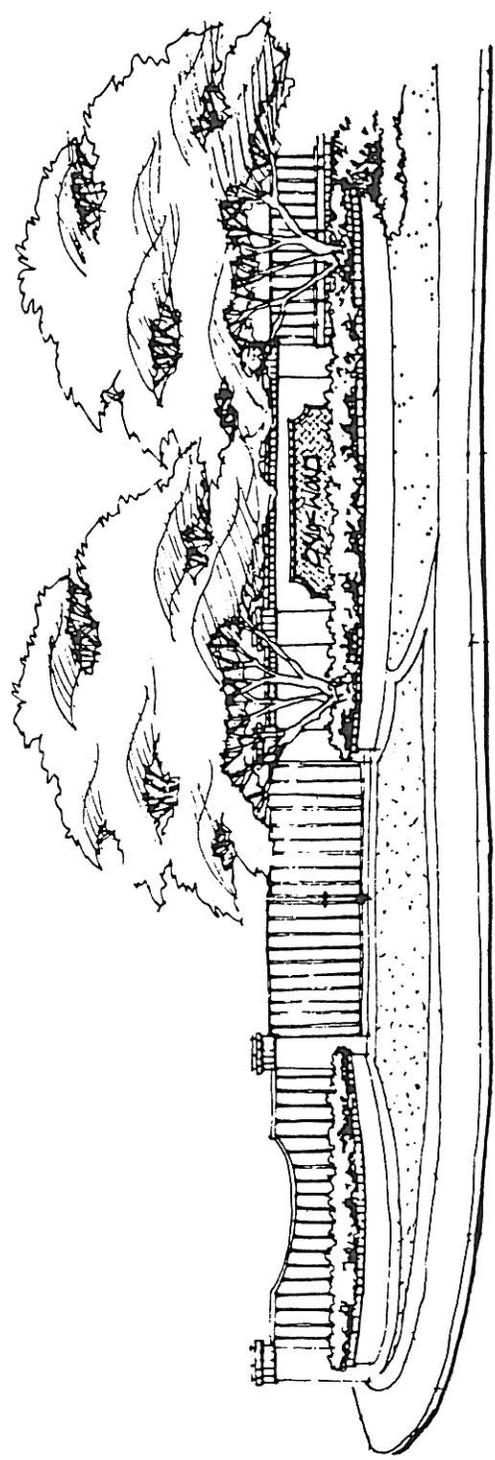
A portion of Ontario Avenue Park site is subject to temporary storm inundation, and the parks and recreation improvements have been designed to reflect this condition. The lower pad of the Ontario Avenue Park is in the 100-year flood plain until the Oak Street Channel is fully improved.

Planning Area I, an approximately 3.5 acre detention basin, has been designed to accommodate all storm water runoff from the proposed project. The function of the flood control basin will be to detain the difference between developed and undeveloped storm water generation so that no additional flow will be discharged into the Oak Street Channel.

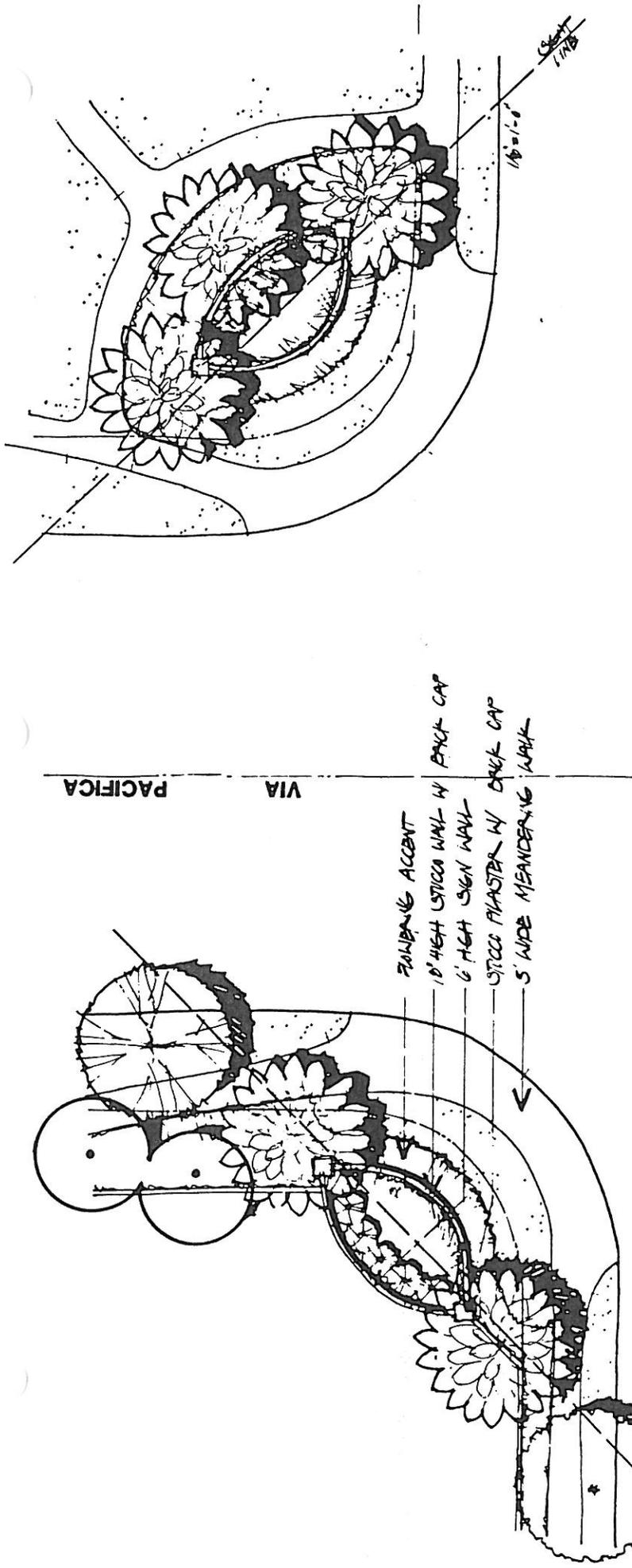
All of the planned residential areas will be designed free of flood hazard.



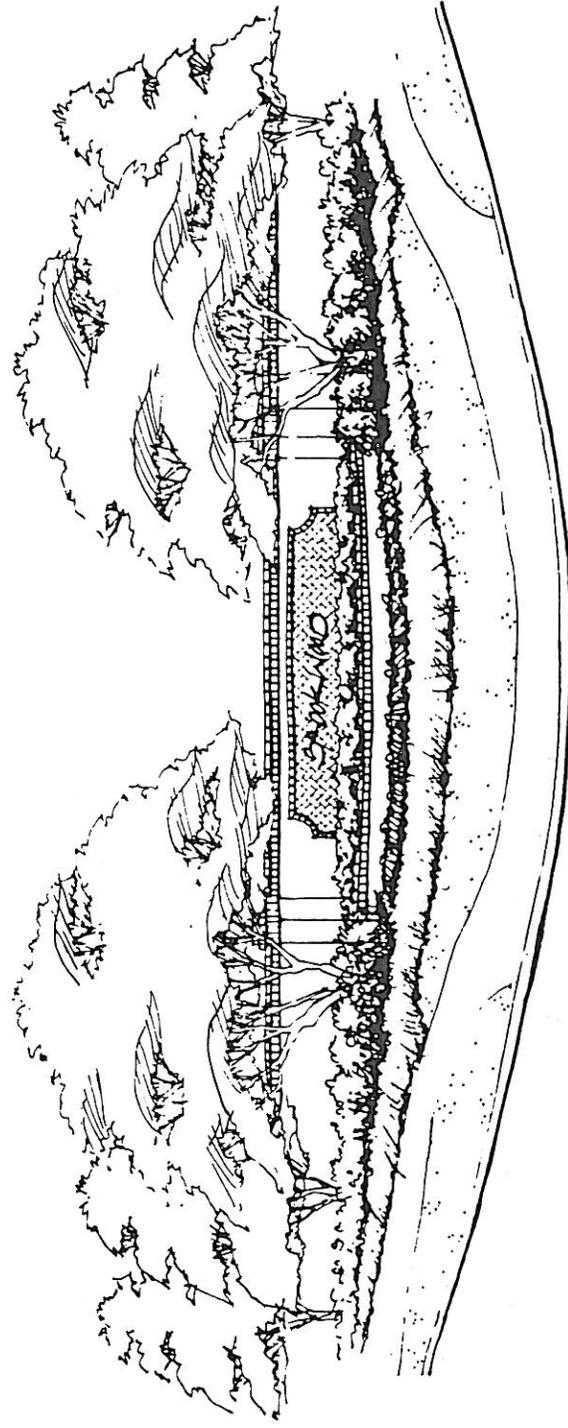
BORDER AVE.



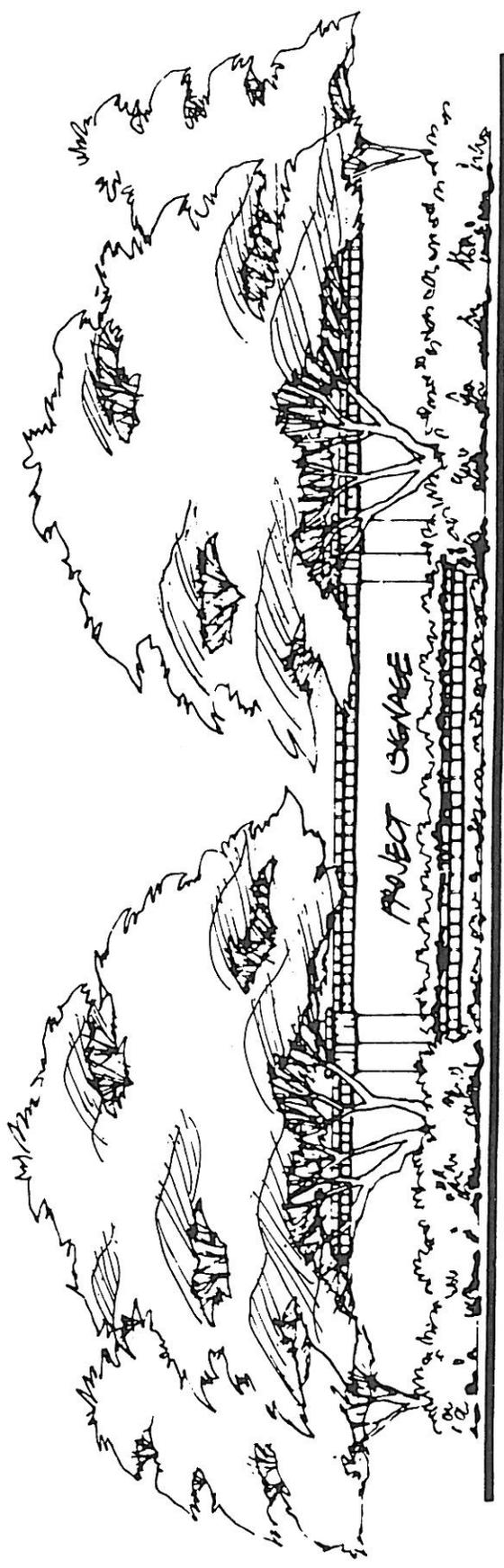
ENTRY MONUMENT AT BORDER AVENUE 4-2-08



ONTARIO AVE.



ENTRY MONUMENT AT ONTARIO AVENUE

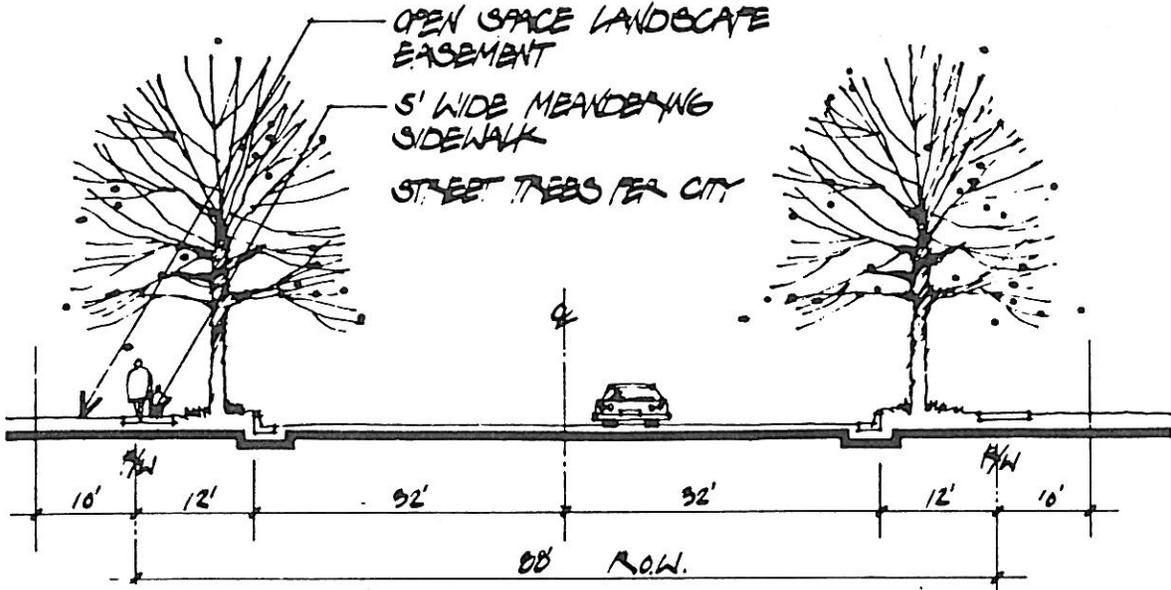


# PROJECT ENTRY AT INTERSECTIONS

1/2" = 1'-0"

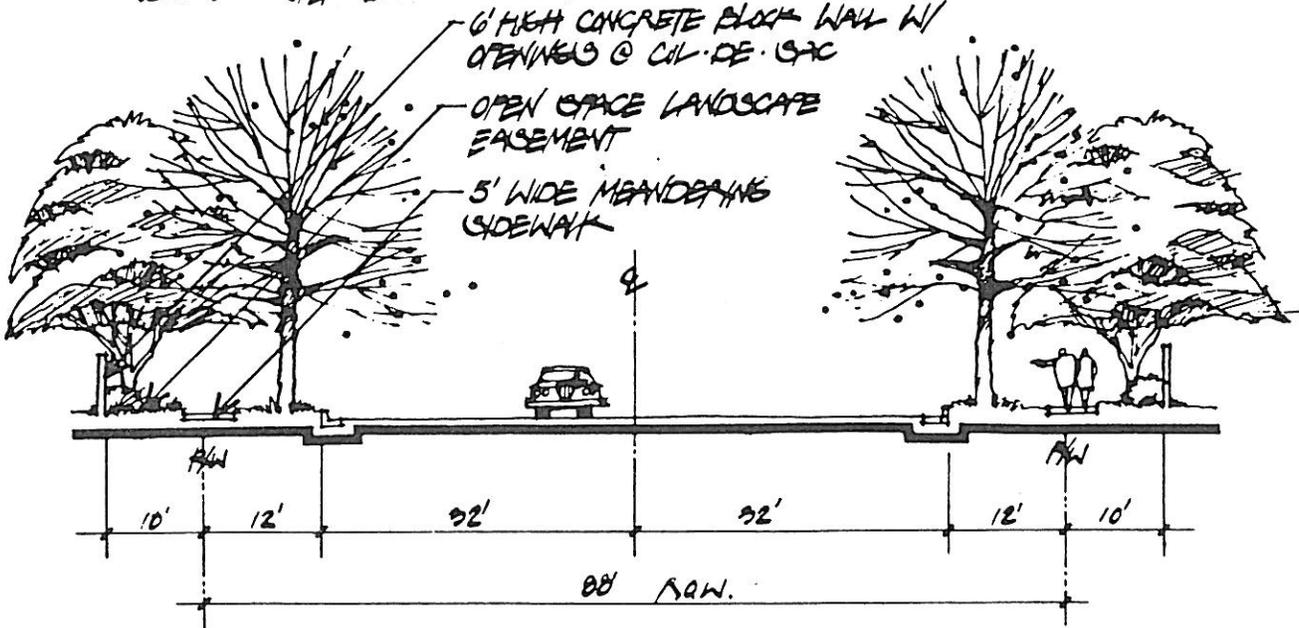
EXHIBIT 9

# VIA PACIFICA STREETSCAPE



## MULTI-FAMILY LOTS

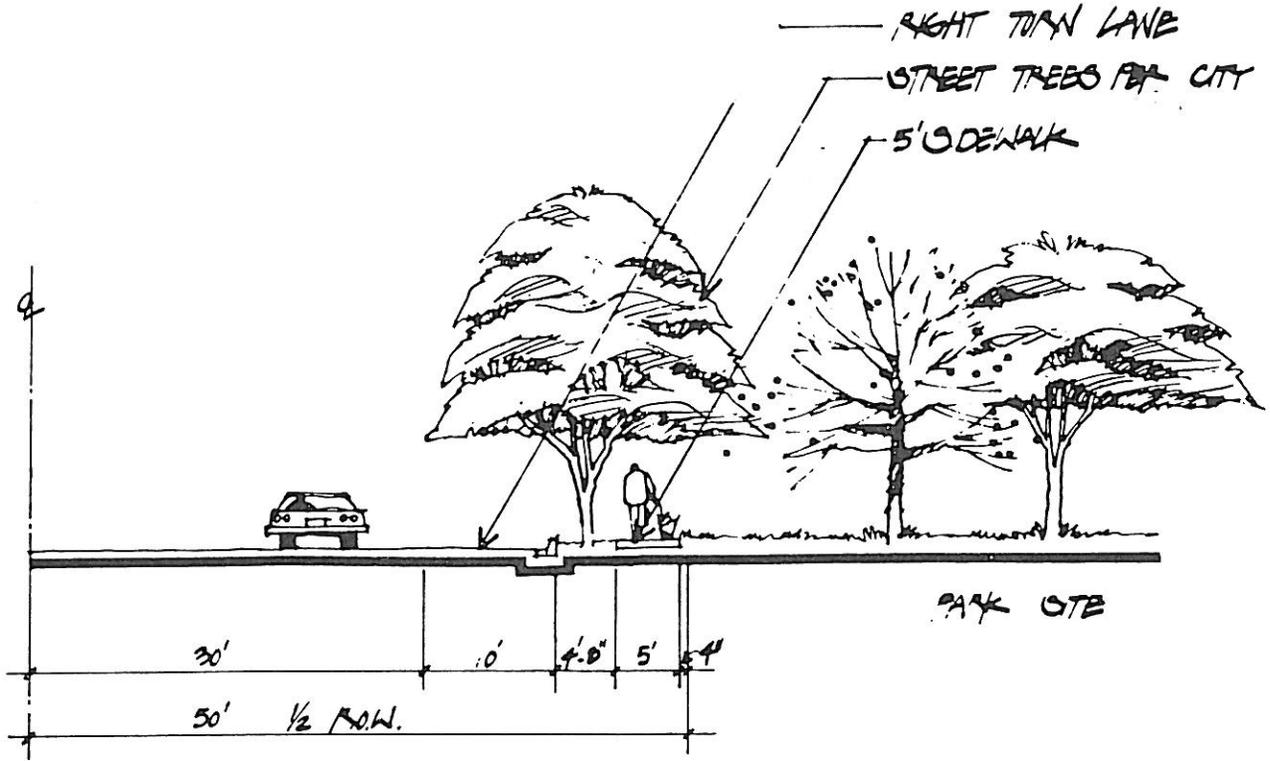
3/32' x 1'-3" (PER BRANKHOOD GENERAL DEVELOPMENT PLAN AMENDMENT)



## SINGLE FAMILY DEVELOPMENT

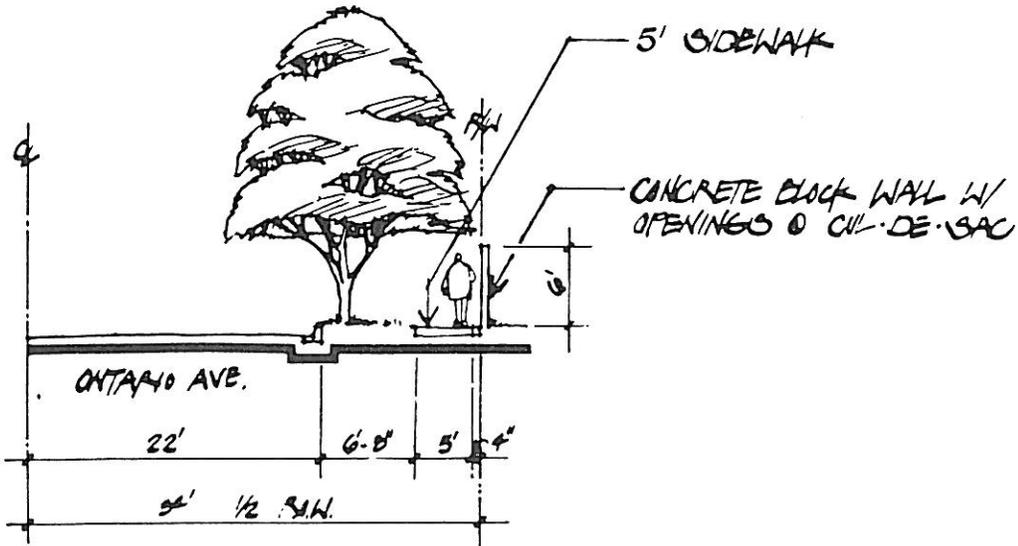
3/32' x 1'-0" (PER BRANKHOOD GENERAL DEVELOPMENT PLAN AMENDMENT)

# ONTARIO AVENUE STREETScape



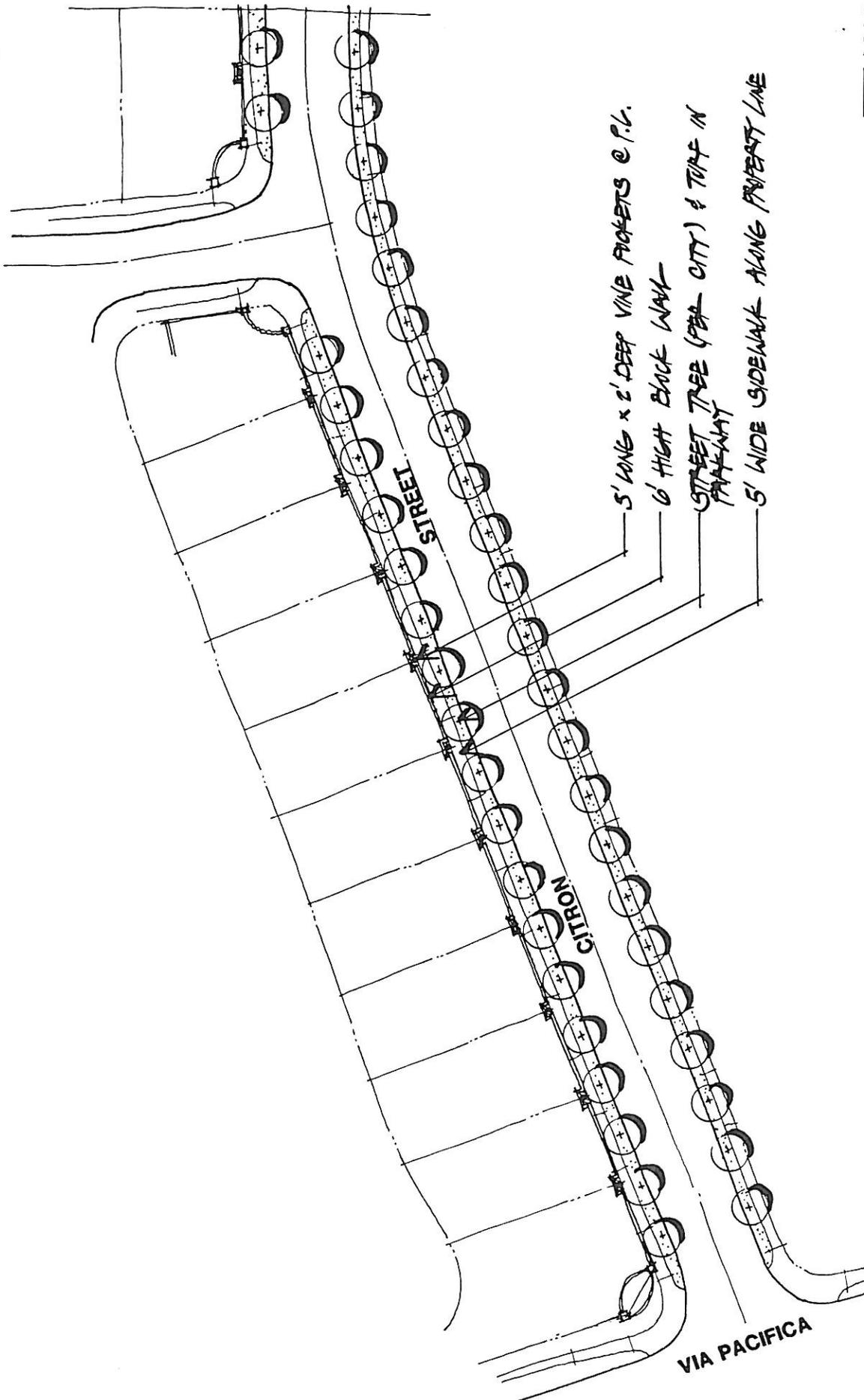
## EAST OF VIA PACIFICA

1/8" = 1'-0" (PER BROOKWOOD GENERAL DEVELOPMENT PLAN AMENDMENT)



## WEST OF VIA PACIFICA

1/8" = 1'-0" (PER CITY STANDARD PLAN)



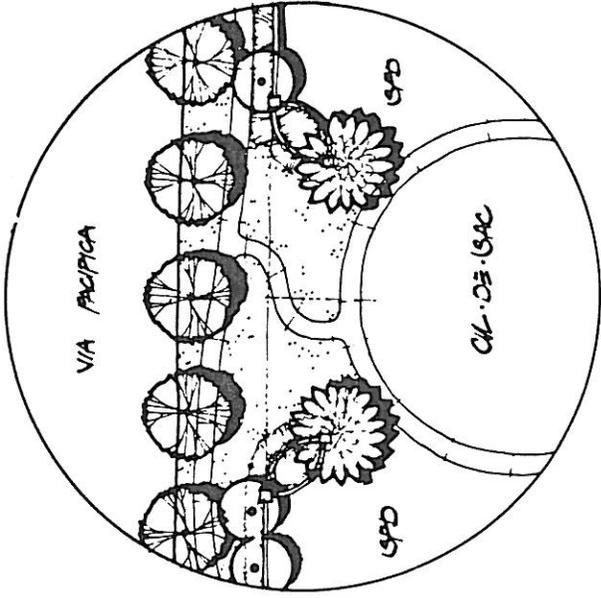
5' LONG x 2' DEEP VINE RICKETS @ P.C.  
 6' HIGH BRICK WALL  
 STREET TREE (PEA CITY) & TURF IN  
 PAVEDWAY  
 5' WIDE SIDEWALK ALONG PROPERTY LINE



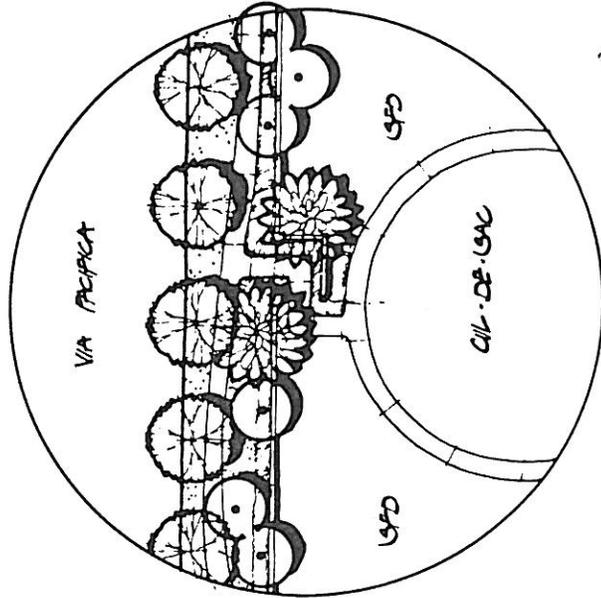
PLANNING  
 LANDSCAPE ARCHITECTURE  
 REGULATORY SERVICES  
 13132 Newwood Avenue, Suite 100  
 Tustin, California 92680  
 (714) 731-6011

1/24

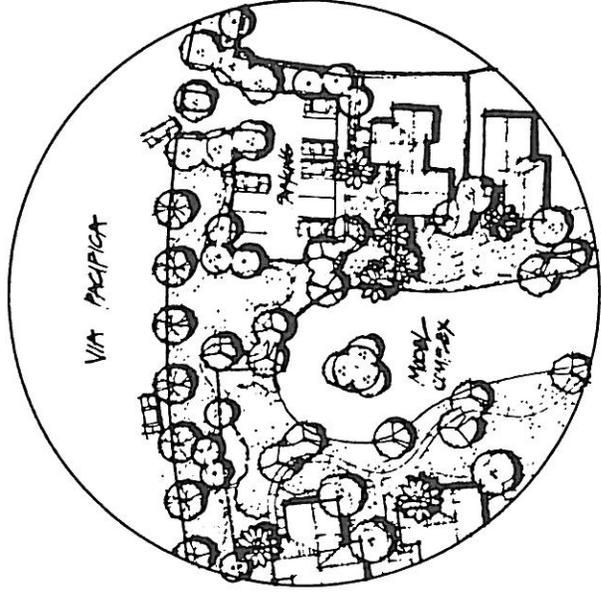
# CITRON STREET LANDSCAPING



**ALTERNATIVE ONE**  
1/5/24



**ALTERNATIVE TWO**  
1/5/24



**INTERIM CONDITION-MODEL PHASE**  
1/5/24

### III. DEVELOPMENT STANDARDS

The Brookwood General Development Plan Amendment establishes three residential districts: SFR-5, MDR-12 and HDR-22. This section provides standards for subdivision and development within these districts. The standards included herein are consistent with standards established within the basic zones of the City as required by CMC 17.52.020.

#### A. General Provisions

1. Unless excepted herein or with precise plan approval, the relevant zoning ordinance, municipal code, and other city regulations shall govern the design and construction of Brookwood.
2. The number of units allowed within each area shall be within the range established in Exhibit 14.
3. In no case shall Brookwood exceed 1,106 dwelling units in total.
4. The following residential districts are established:
  - SFR-5: Single Family Residential-  
5,000 s.f. minimum lot area.
  - MDR-12: Medium Density Residential-  
6-12 units per gross acre.
  - HDR-22: High Density Residential-  
18-22 units per gross acre.
5. Phasing may be amended subject to the review and approval of the City Engineer.
6. Processing of Precise Plans in accordance with CMC Section 17.52.180 shall be required for all development within Brookwood.

Precise plans within the MDR District shall adhere to the Architectural Design Guidelines contained in Appendix A, including the provision of developed installed front yard landscaping.

EXHIBIT 14

STATISTICAL SUMMARY

PLANNING USE	LAND USE DESIGNATION	ACRES	DENSITY	DWELLING UNITS
A	SINGLE FAMILY RESIDENTIAL (SFR-5)	20.9	4.0-6.0	84-125
B	SINGLE FAMILY RESIDENTIAL (SFR-5)	16.3	4.0-6.0	65-98
C	SINGLE FAMILY RESIDENTIAL (SFR-5)	20.4	4.0-6.0	82-122
D	MEDIUM DENSITY RESIDENTIAL (MDR-12)	16.0	6.0-12.0	96-192
E	MEDIUM DENSITY RESIDENTIAL (MDR-12)	9.5	6.0-12.0	57-114
F	HIGH DENSITY RESIDENTIAL (HDR-22)	15.4	18.0-22.0	277-339
G	HIGH DENSITY RESIDENTIAL (HDR-22)	15.4	18.0-22.0	277-339
H	ONTARIO PARK	5.0		
I	DETENTION BASIN	3.5		
	ROADS	9.7		
	COLBY-ALQUIST EASEMENT	1.4		
TOTAL		133.5	8.3 AVERAGE	1,106 (NOT TO EXCEED)

B. Single Family Residential (SFR-5) District

1. Purpose
2. Permitted Uses
3. Conditional Uses
4. Prohibited Uses
5. Lot Area, Lot Width, Lot Depth
6. Building Height
7. Front Yard Setbacks
8. Side Yard Setbacks
9. Zero Side Yards
10. Rear Yard Setbacks
11. Coverage
12. Walls and Fences

1. Purpose - The SFR-5 single family residential districts are intended as districts of single-family homes with not more than one dwelling and customary accessory buildings upon one lot. Except as specifically provided elsewhere, any and every building and premises or land in the SFR-5 district shall be used for or occupied and every building shall be erected, constructed, established, altered, enlarged, maintained, moved into or within said SFR-5 district exclusively and only in accordance with the following standards set forth.

2. Permitted Uses- The following uses shall be permitted in the SFR-5 districts:

One-family detached or attached dwelling of a permanent character placed in a permanent location.

Parks and playgrounds (public and private);

Private recreational facilities;

Animals to maximum numbers as follows:

Three weaned cats;

Three weaned dogs;

Home occupations, in accordance with CMC Chapter 19.80:

House trailer, may be used as a construction project office during time of construction when a valid building permit is in force;

Manufactured housing in conformance with provisions established in Chapter 17.81 of the Corona Municipal Code;

Model home complex including sales office subject to the review of the Board of Zoning Adjustment according to the procedures described in Chapter 17.98 of the Corona Municipal Code.

Uses customarily incident to any of the above uses and accessory buildings, including a private garage, private recreation facilities and servants' quarters, provided no kitchen or kitchen facilities shall be included in any such accessory building.

Similar uses permitted by Commission determination: The Commission may, by resolution of record, permit any other uses which it may determine to be similar to those listed above, and not more obnoxious or detrimental to the public health, safety and welfare, or to other uses permitted in this district. For procedure, see Chapter 17.88 of the Corona Municipal Code.

3. Conditional Uses - The following uses may be permitted subject to conditional use permits provided for in Chapter 17.92 of the Corona Municipal Code.

Churches;  
Day nurseries or nursery schools;  
Homes for the aged or children.

4. Prohibited Uses - Uses prohibited in the SFR-5 district are as follows:

Commercial uses;  
Manufacturing uses.

5. Lot Area, Lot Width and Lot Depth - The minimum area of any lot intended for residential development shall be 5,000 sq. ft. The minimum lot width and depth shall be 50 feet and 80 feet, respectively.
6. Building Height - The height of buildings or structures shall not exceed two stories or thirty (30) feet.
7. Front Yard Setback - The front yard shall be minimum of fifteen (15) feet except where garages open directly onto an abutting street in which case the garage setback shall be twenty (20) feet.

8. Side Yard Setback - Lots shall have side yards of not less than 5 feet on interior yards, 10 feet adjoining a local street and 15 feet adjoining a collector, secondary or major street.
9. Zero Side Yards - Zero side yards may be approved provided a five foot side yard access and improvement right shall be granted to an adjacent property owner provided the owner or the lot from which the right is taken is granted a corresponding access and improvement right; all main buildings shall be separated by ten (10) feet.
10. Rear Yard Setbacks - Lots shall have level rear yards of not less than 10 feet.
11. Coverage - Lot area coverage by buildings or structures shall not exceed forty five (45) percent of the total lot area.
12. Walls and Fences - The provisions of Chapter 17.70 of the Corona Municipal Code shall apply except that solid walls and fences up to six feet in height may be permitted where one lot depth blocks are created adjacent to Via Pacifica and Citron Streets, subject to design approval by the Planning Director.

The wall treatment adjacent to Citron Street shall include a minimum of 5 X 2 foot indentations as shown in the Exhibit 12, in the wall elevation to accommodate vines. These vine pockets shall be automatically irrigated and maintained by the Landscape Maintenance District for Brookwood. The spacings of the wall pockets and the type and size of the plantings shall be to the approval of the Planning Director.

C. Medium Density Residential (MDR) District

1. Purpose
2. Permitted Uses
3. Conditional Uses
4. Prohibited Uses
5. Lot Area Per Dwelling Unit
6. Lot Area, Lot Width, Lot Depth
7. Building Height
8. Front Yard Setbacks
9. Side Yard Setbacks
10. Zero Side Yards
11. Rear Yard Setbacks
12. Distance Between Buildings
13. Coverage
14. Walls and Fences
15. Parking
16. Minimum Dwelling Unit Area
17. Medium Density Multiple Family Buildings Open Space Requirement
18. Trash Pick Up
19. Enclosed Storage Area

1. Purpose - The medium density district is intended as a planned residential district of single-family detached or attached or medium-density multiple-family dwellings with either one or more dwellings on the same lot. Except as specifically provided elsewhere in Title 17 of the Corona Municipal Code, each and every building and premises or land in the MDR-12 district shall be used for or occupied and every building shall be erected, constructed, established, altered, enlarged, maintained, moved into and within said MDR-12 district exclusively and only in accordance with the following standards set forth.

2. Permitted Uses - The following uses shall be permitted in the MDR-12 districts:

Single family detached dwelling, duplex dwelling or medium density multiple family buildings.

Parks and Playgrounds (public and private).

Private recreational centers.

Animals to maximum numbers as follows:

Three weaned cats,  
Three weaned dogs;

Home occupations, in accordance with CMC Chapter 17.80;

House trailer, may be used as a construction project office during time of construction when a valid building permit is in force;

Model home complex including sales office subject to the review of the Board of Zoning Adjustment according to the procedures described in Chapter 17.98 of the Corona Municipal Code.

Uses customarily incident to any of the above uses and accessory buildings, including a private garage, private recreation facilities and servants' quarters, provided no kitchen or kitchen facilities shall be included in any such accessory building.

Similar uses permitted by Commission determination: The Commission may, by resolution of record, permit any other uses which it may determine to be similar to those listed above, and not more obnoxious or detrimental to the public health, safety and welfare, or to other uses permitted in this district. For procedure, see Chapter 17.88 of the Corona Municipal Code.

3. Conditional Uses - The following uses may be permitted subject to conditional use permits provided for in chapter 17.92 of the Corona Municipal Code.

Churches;  
Day nurseries or nursery school;  
Homes for the aged or children.

4. Prohibited Uses - Uses prohibited in the medium density residential districts are as follows:

Commercial uses;  
Manufacturing uses.

5. Lot Area Per Dwelling Unit - No lot or parcel of land in the MDR-12 district may be improved or developed to have more than 12 dwelling units per gross acre.

6. Lot Area, Lot Width, Lot Depth - Minimum lot area, width and depth for single family detached shall be 4,000 square feet, 40 feet and 80 feet, respectively. Single family attached shall be a minimum of 3,500 square feet, 35 feet and 86 feet, respectively.
7. Building Height - The height of buildings or structures shall not exceed forty (40) feet from finished grade provided that in areas of fire department access at front and rear and to windows of living areas, the height shall not exceed thirty (30) feet from finished grade.
8. Front Yard Setbacks:
  - a. For a Single Family Detached or Attached or Townhomes: The front yard shall be a minimum of twenty feet.
  - b. For Medium Density Multiple Family Buildings On A Single Lot - The front yard setback shall be twenty feet. No parking shall be permitted within the required front yard setback.
9. Side Yard Setbacks:
  - a. For Single Family Detached or Attached - Lots shall have a minimum side yard of five (5) feet except where units are attached along a common property line.

Street sideyards shall be a minimum of ten (10) feet on local or private streets and fifteen (15) feet on a collector, secondary or major street.
  - b. For Medium Density Multiple Family Buildings On A Single Lot - The side yard setback along the perimeter boundary shall be ten (10) feet. Street side yards shall be 15 feet.
10. Zero Side Yards - Zero side yards may be approved provided a five foot side yard access and improvement right shall be granted to an adjacent property owner provided the owner or the lot from which the right is taken is granted a corresponding access and improvement right; all main buildings shall be separated by ten (10) feet.

11. Rear Yard Setbacks - The minimum level rear yard setback shall be ten (10) feet, except a patio cover open on three sides which may come to within three (3) feet of the rear property line.
12. Distance Between Buildings - The minimum distance between medium density multiple family dwellings shall be not less than ten (10) feet for one-story buildings, 15 feet for two-story buildings and 20 feet for three-story buildings.
13. Coverage - Lot area coverage by buildings or structures shall not exceed fifty (50) percent of the total lot area.
14. Walls and Fences - The provisions of Chapter 17.70 of the Corona Municipal Code shall apply with the exception that solid fences and walls up to six feet in height may be permitted where one lot depth blocks are created adjacent to Via Pacifica subject to design approval by the Planning Director.
15. Parking - The provisions of Chapter 17.76 of the Corona Municipal Code shall apply except that 2.0 off-street parking spaces per unit shall be provided for two or more bedroom units, 1.5 off-street parking spaces per unit for one bedroom units and 0.25 guest spaces shall be provided for each unit in conformance with the provisions outlined in the City Engineer's "Private Street Standards".
16. Minimum Dwelling Unit Area - There shall be a minimum of five hundred (500) square feet in each dwelling exclusive of open porches, patios and garages. Single family detached dwellings shall be a minimum of 950 square feet or greater.
17. Medium Density Multiple Family Buildings Open Space Requirements - The following requirements shall only apply where medium density multiple family buildings are developed on a single lot and all outdoor living area is held in common.
  - a. Private open space shall be established for the personal and exclusive use of the dwelling occupant it is designed to serve. A

minimum of fifty (50) square feet of private open space per dwelling unit shall be required and shall include any of the following:

Patios	Decks
Balconies	Others deemed similar by
Porches	the Planning Director

- b. Common open space shall be established for the joint use of this general purpose land to be shared equally by the dwelling occupants it is intended to serve. The common open space shall be of two categories:

Active - A minimum of one hundred (100) square feet per dwelling unit shall be provided and shall include any of the following:

- Swimming pools
- Tennis Courts
- Tot lots
- Mini-parks
- Recreation Rooms
- Child care centers(C.U.P. required)
- Others deemed similar by the Planning Director.

Upon Planning Commission consideration of evidence supporting a reduced active recreational need, the Planning Commission may decrease the required active open space area if the passive open space recreational area is increased in a corresponding area.

Passive - A minimum of fifty (50) square feet per dwelling per unit shall be provided and shall include any of the following:

- Bicycle paths
- Jogging trails
- Picnic areas
- Walkways
- Landscaped open areas, excluding all required yard setback areas.
- Others deemed similar by the Planning Director.

18. Trash pickup area - If an attached garage is not provided, trash pickup areas shall be provided at a ratio of one trash enclosure for each ten dwelling units. The trash enclosure shall be to city standards.
19. Enclosed storage area - If an attached garage is not provided, an enclosed storage area of not less than 100 cubic feet, shall be provided for each dwelling unit. The minimum dimension shall be three (3) feet.
20. Architectural Design Guidelines - Development within the MDR District that is a single family detached or attached product type shall adhere to the Architectural Design Guidelines in Appendix A. Modifications to the Guidelines shall be as approved by the Planning Director.

D. High Density Residential (HDR) District

1. Purpose
2. Permitted Uses
3. Conditional Uses
4. Prohibited Uses
5. Lot Area Per Dwelling Unit
6. Building Height
7. Front Yard Setbacks
8. Side Yard Setbacks
9. Rear Yard Setbacks
10. Distance Between Buildings
11. Coverage
12. Parking
13. Minimum Dwelling Unit Area
14. Open Space Requirement
15. Trash Pick-up Area
16. Enclosed Storage Area

1. Purpose - The high density residential district is intended as a planned residential district of high density multiple family dwellings with either one or more dwellings on the same lot. Except as specifically provided elsewhere in the title, any and every building and premises or land in HDR-22 district shall be used for or occupied and every building shall be erected, constructed, established, altered, enlarged, maintained, move into and within said HDR-22 district exclusively and only in accordance with the standards set forth.

2. Permitted Uses - The following uses shall be permitted in the high density residential districts:

Duplex dwelling based upon MDR standards, multiple family dwellings.

Parks and playgrounds (public and private);

Private recreational facilities;

Animals to maximum numbers as follows:

Two weaned cats;

Two weaned dogs;

Home occupations, in accordance with CMC Chapter 17.80.;

House trailer, may be used as a construction project office during time of construction when a valid building permit is in force;

Model home complex including sales office subject to the review of the Board of Zoning Adjustment according to the procedures described in Chapter 17.98 of the Corona Municipal Code.

Uses customarily incident to any of the above uses and accessory buildings, including a private garage, private recreation facilities and servants' quarters, provided no kitchen or kitchen facilities shall be included in any such accessory building.

Similar uses permitted by Commission determination: The Commission may, by resolution of record, permit any other uses which it may determine to be similar to those listed above, and not more obnoxious or detrimental to the public health, safety and welfare, or to other uses permitted in this district. For procedure, see Chapter 17.88 of the Corona Municipal Code.

3. Conditional Uses - The following uses may be permitted subject to conditional use permits provided for in chapter 17.92 of the Corona Municipal Code.

Churches;  
Day nurseries or nursery schools;  
Homes for the aged or children.

4. Prohibited Uses - Uses prohibited in the high density residential districts are as follows:

Commercial uses;  
Manufacturing uses.

5. Lot Area Per Dwelling Unit - No lot or parcel of land in the HDR-22 district may be improved or developed to have more than 22 dwelling units per gross acre.

6. Building Height - The height of buildings or structures shall not exceed forty (40) feet from finished grade provided that in areas of fire department access at front and rear and to windows of living areas, the height shall not exceed thirty (30) feet from finished grade.

7. Front Yard Setbacks - The front yard setback shall be a minimum of 20 feet; no parking shall be allowed within the required front yard setback.
8. Side Yard Setbacks - Side yard setbacks shall be 10 feet; street setbacks shall be 15 feet.
9. Rear Yard Setbacks - Rear yard setbacks shall be 10 feet.
10. Distance Between Buildings - The minimum distance between dwellings shall be not less than ten (10) feet for one-story buildings, 15 feet for two-story buildings and 20 feet for three-story buildings.
11. Coverage - Lot area coverage by buildings or structures shall not exceed sixty (60) percent of the total lot area.
12. Parking - The provisions of Chapter 17.76 of the Corona Municipal Code shall apply except that 2.0 off-street parking spaces per unit shall be provided for two or more bedroom units, 1.5 spaces off-street parking per unit shall be provided for one bedroom units and 0.25 guest spaces shall be provided for each unit in conformance with provisions of the City Engineer's "Private Street Standards".
13. Minimum Dwelling Unit Area - There shall be a minimum of five hundred (500) square feet in each dwelling exclusive of open porches, patios and garages.
14. Open Space Requirements -
  - a. Private open space shall be established for the personal and exclusive use of the dwelling occupant it is designed to serve. A minimum of fifty (50) square feet of private open space per dwelling unit shall be required and shall include any of the following:
 

Patios	Decks
Balconies	Others deemed similar by the Planning Director

- b. Common open space shall be established for the joint use of this general purpose land to be shared equally by the dwelling occupants it is intended to serve. The common open space shall be of two categories:

Active - A minimum of one hundred (100) square feet shall be provided and shall include any of the following:

Swimming pools  
Tennis courts  
Tot lots  
Mini Parks  
Recreation rooms  
Child care center(C.U.P. required)  
Others deemed similar by the  
Planning Director

Upon Planning Commission consideration of evidence supporting a reduced active recreational need, the Planning Commission may decrease the required active open space area if the passive open space recreational area is increased a corresponding area.

Passive - A minimum of fifty (50) square feet per dwelling unit shall be provided and shall include any of the following:

Bicycle paths  
Jogging trails  
Picnic areas  
Walkways  
Landscaped open areas, excuding  
all required yard setback areas.  
Others deemed similar by the  
Planning Director.

15. Trash Pickup Area - If attached garage is not provided, trash pickup areas shall be provided at a ratio of one trash enclosure for each ten dwelling units. The trash enclosure shall be to city standards.
16. Enclosed Storage Area - If attached garage is not provided, an enclosed storage area of not less than 100 cubic feet, shall be provided for each dwelling unit. The minimum dimension shall be three (3) feet.

E. Subdivision Standards

The provisions of this section shall be the standards for subdivisions for Brookwood. Standards which are not addressed in this section shall be governed by Title 16 (Subdivision Ordinance) of the Corona Municipal Code.

1. Cul-de-sacs

- a. The maximum length of a cul-de-sac shall be 500 feet excepting therefrom Street "A" of Tentative Tract 21141 which may be a maximum length of 650 feet.
- b. All cul-de-sacs shall terminate in a minimum 44 foot curb-to-curb turning radius.

2. Lots and Blocks

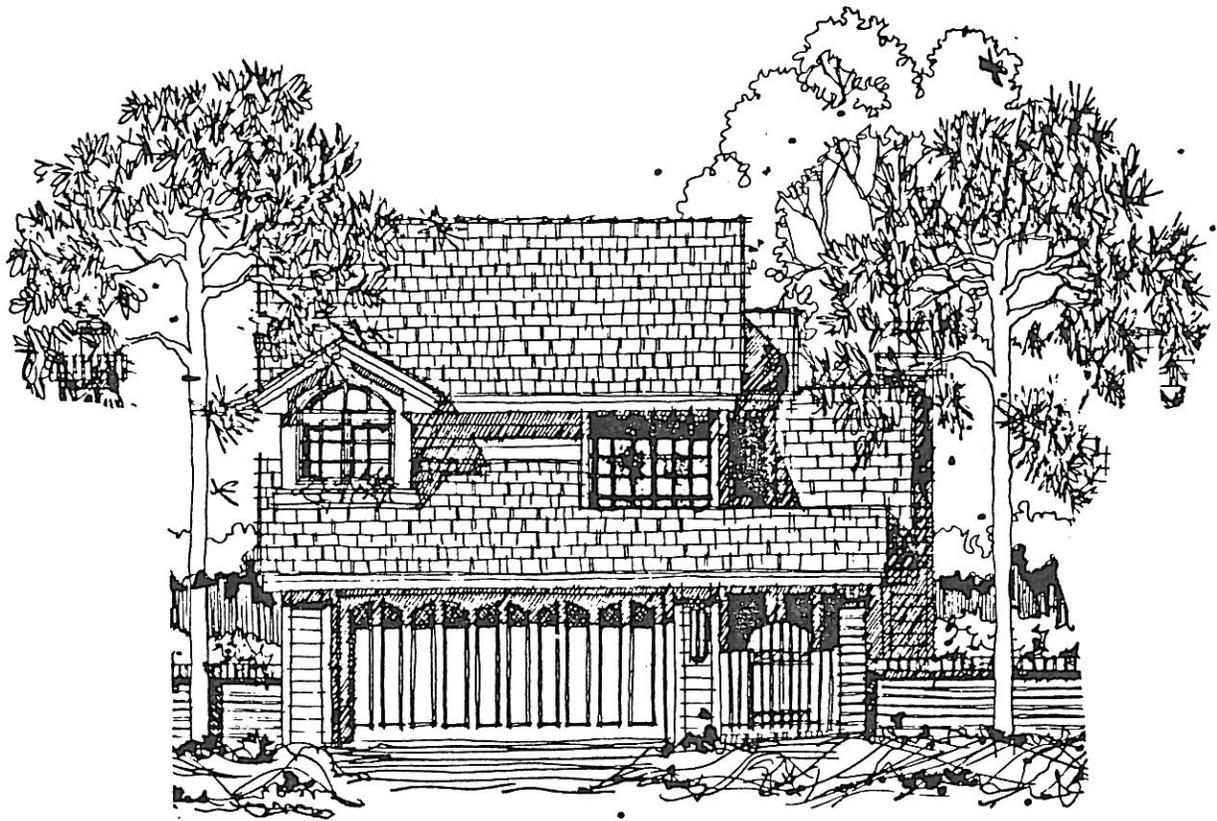
Residential blocks shall be two lots deep in width, excepting therefrom one lot deep blocks adjacent to Via Pacifica and Citron Avenue. Access rights shall be dedicated and a six (6) foot solid, decorative masonry wall, subject to the review and approval of the Planning Director, shall be constructed along the rear property line.

3. Via Pacifica Open Space Lot -

- a. A 10 foot open space lot shall be dedicated to the City along the frontage of Via Pacifica, excepting therefrom, the area adjacent to the Ontario Avenue Park.
- b. A five (5) foot sidewalk shall be permitted to meander through the Via Pacifica parkway and 10 foot open space lot providing the sidewalk does not come closer than three (3) feet to the back of the curb along Via Pacifica.
- c. Maintenance of Via Pacifica and open space lot shall be performed in the following manner:

- In all cases, the area between the back of the curb and the meandering sidewalk shall be maintained by the landscape maintenance district;

- When a wall is constructed on the lot line adjacent to the open space lot, the landscaping behind the meandering sidewalk shall be maintained by the landscape maintenance district;
- When no wall is constructed on the lot line adjacent to the open space lot, the landscape behind the meandering sidewalk shall be maintained by the adjoining property owner or homeowners association.



# BROOKWOOD

## ARCHITECTURAL DESIGN GUIDELINES FOR MEDIUM DENSITY RESIDENTIAL ZONES

DAON CORPORATION



and Partners  
**CORBIN, YAMAFUJI & PARTNERS**  
ARCHITECTURE/PLANNING  
17002 Michal South, Suite 200, Irvine, Ca 92714 Phone (714) 860-0970

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- B. ARTICULATION

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- A. STREET SCENE
- B. ROOF
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  - 2. FORM
- C. EXTERIORS
  - 1. MATERIALS & COLORS
  - 2. FORM

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- A. VILLAGE HOMES
- B. COTTAGE HOMES
- C. DUPLEXES

## V. APPROVAL PROCESS

# I. INTRODUCTION

# I. INTRODUCTION

## A. PURPOSE

- OBJECTIVELY EVALUATE A BUILDER'S PRODUCT PACKAGE THROUGH A SET OF ARCHITECTURAL GUIDELINES

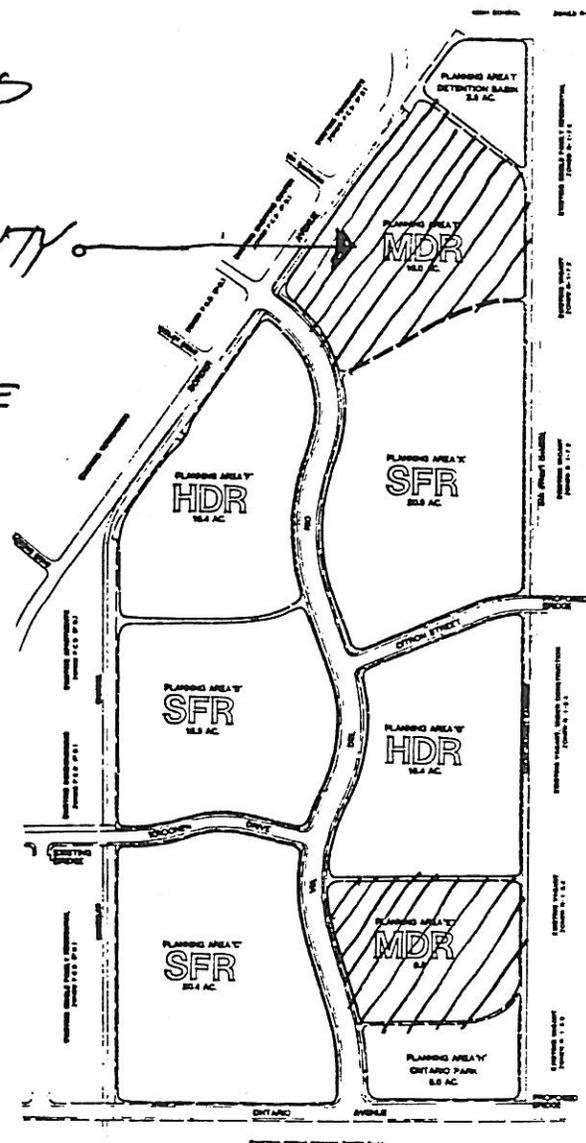
## B. INTENT

- GRAPHICALLY QUANTIFY ACCEPTABLE ARCHITECTURAL CHARACTER

## C. NEIGHBORHOOD THEME

MEDIUM DENSITY RESIDENTIAL ZONES WHICH COULD INCLUDE ANY ONE OF THE FOLLOWING PER ZONE

- VILLAGE HOMES
- COTTAGE HOMES
- DUPLEXES

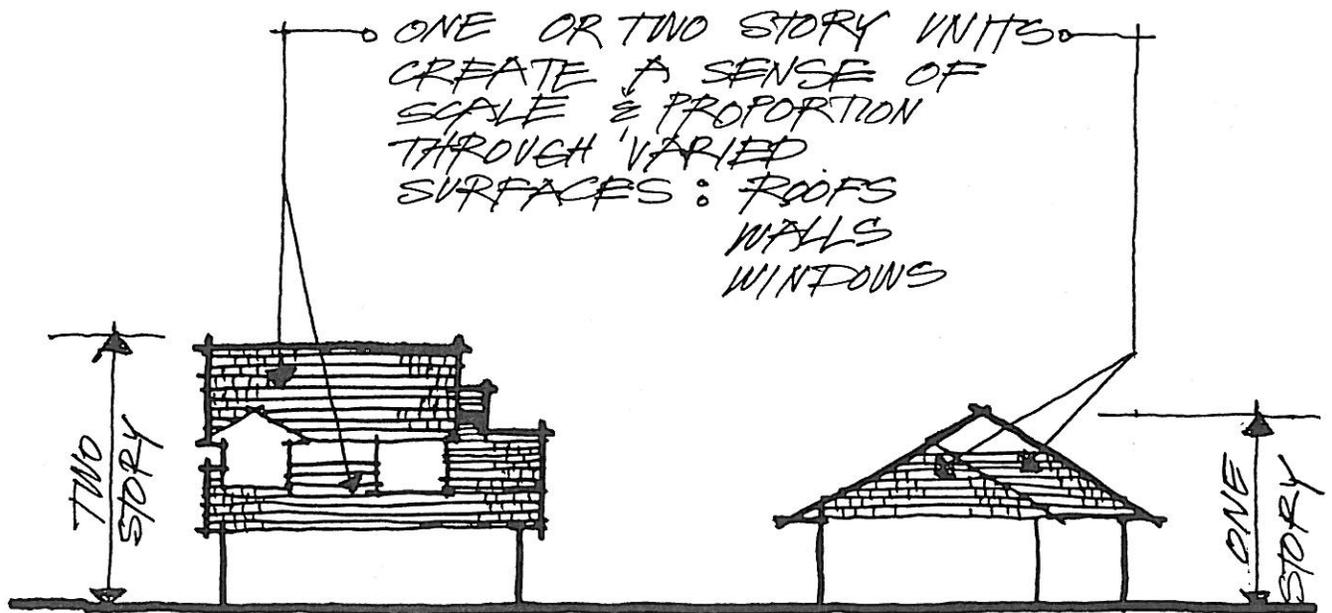


## II. GENERAL ARCHITECTURAL REQUIREMENTS

## II. GENERAL ARCHITECTURAL REQUIREMENTS

### A. FORM & SCALE

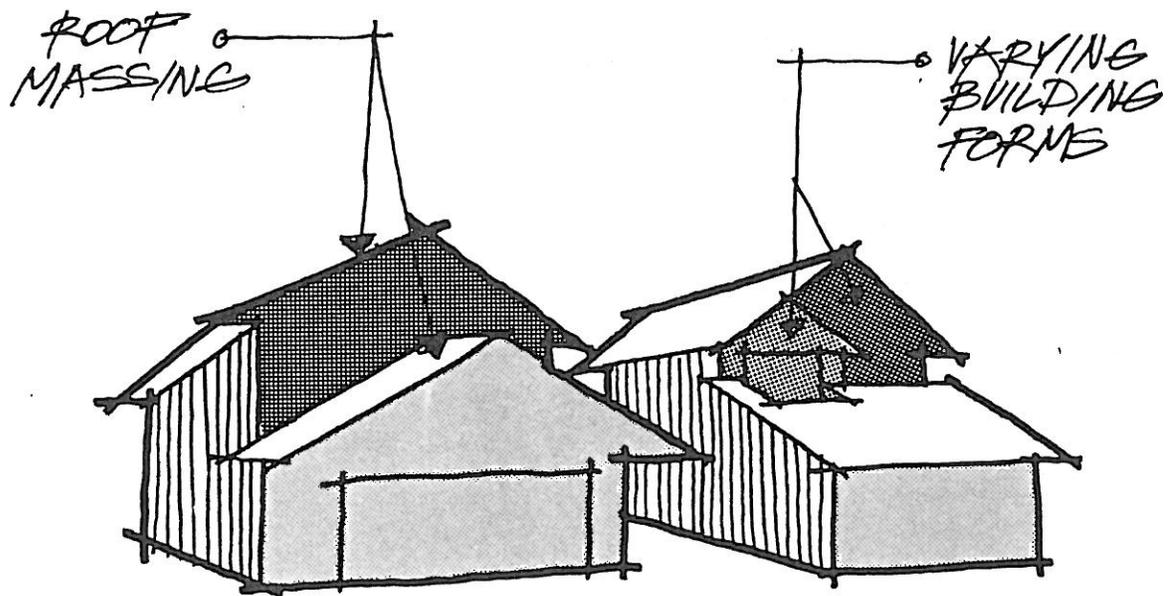
- SIMPLE, STRONG VOLUMES
- VARIED PROPORTIONS BETWEEN ROOF AND BUILDING FORM MASSES MITIGATES THE EFFECT OF SCALE
- VARIED HEIGHTS IN UNITS (ONE STORY VS. TWO STORY) ALSO CREATES A SENSE OF SCALE



BUILDING RELATIONSHIP

## B. ARTICULATION

- INTEGRATION OF BUILDING VOLUMES INTRODUCING A VARIETY OF INTERRELATED PLANES
- VERTICAL & HORIZONTAL ARTICULATION CAN BE ACHIEVED THROUGH A VARIETY OF MULTI-PLANNED ROOF MASSINGS & A VARIETY OF BUILDING FORMS



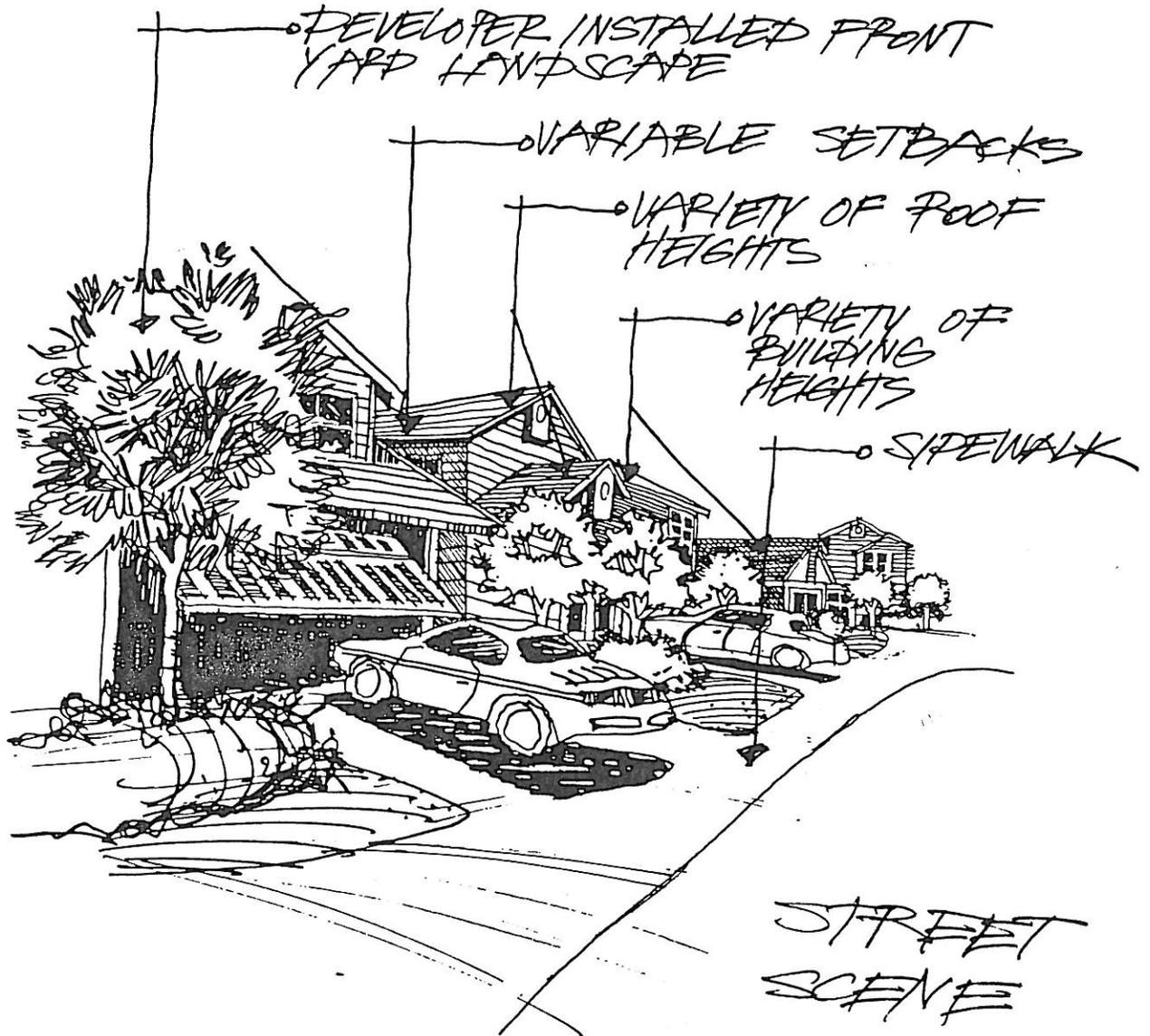
TWO STORY BUILDINGS  
BECOME VISUALLY INTERESTING  
THROUGH ROOF & VERTICAL &  
HORIZONTAL BUILDING FORM  
ARTICULATION

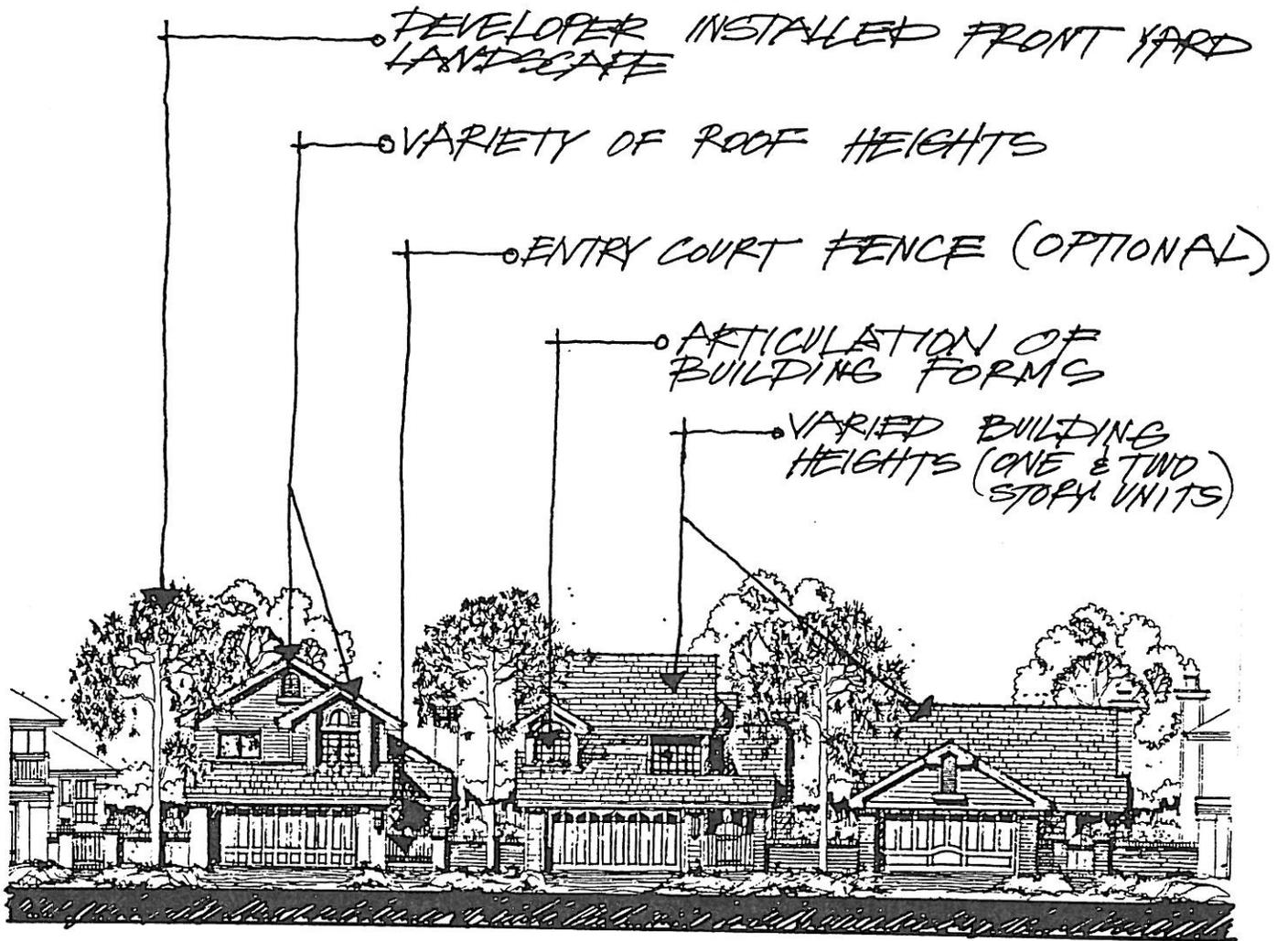
III. SPECIFIC  
ARCHITECTURAL  
REQUIREMENTS

# III. SPECIFIC ARCHITECTURAL REQUIREMENTS

## A. STREET SCENE

- DEVELOPER INSTALLED LANDSCAPE FRONT YARD
- VARIABLE FRONT SETBACKS
- VARIETY OF BUILDING HEIGHTS  
ONE & TWO STORY UNITS
- VARIETY OF ROOF HEIGHTS
- ARTICULATION - ROOF, VERTICAL & HORIZONTAL BUILDING FORMS
- ENTRY COURT FENCE (OPTIONAL)





STREET SCENE  
ELEVATION

THE FOLLOWING ARE SUGGESTED  
THEMES; SPECIFIC MATERIALS  
SHOULD BE COMPATIBLE AND  
HARMONIOUS THEREBY  
REINFORCING THE INDIVIDUAL  
NEIGHBORHOOD THEME AND  
ENHANCING THE ARCHITECTURAL  
ATTITUDES

## B. ROOF

1. MATERIALS & COLORS
  - o NO ASPHALT SHINGLES

### THEME A

- WOOD SHAKES
- FLAT TILE IN EARTH  
TONE FINISHES

### THEME B

- "S" TILES
- BARREL TILES
- MUTED TERRA COTTA  
BLENDS

THE FOLLOWING ARE SUGGESTED THEMES; SPECIFIC EXTERIOR MATERIALS SHOULD BE COMPATIBLE AND HARMONIOUS THEREBY REINFORCING THE INDIVIDUAL NEIGHBORHOOD THEME AND ENHANCING THE ARCHITECTURAL ATTITUDES

Co EXTERIORS

1. MATERIALS & COLORS

### THEME A

- STUCCO
- HORIZONTAL SIDING
- SHINGLE SIDING
- ACCENTS OF BRICK & STONE

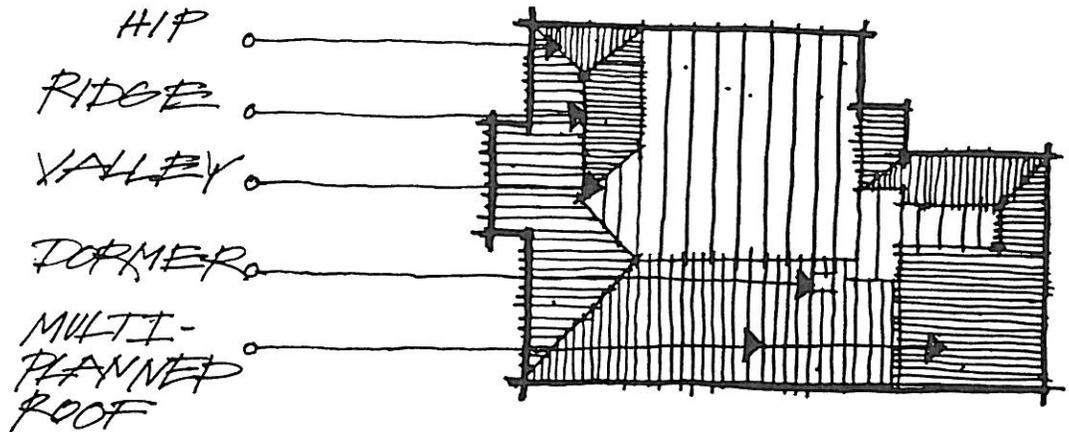
### THEME B

- STUCCO
- WOOD TRIM
- ACCENTS OF MASONRY MATERIALS
- DARK TRIMS WITH LIGHT, COOL PLASTER SURFACES

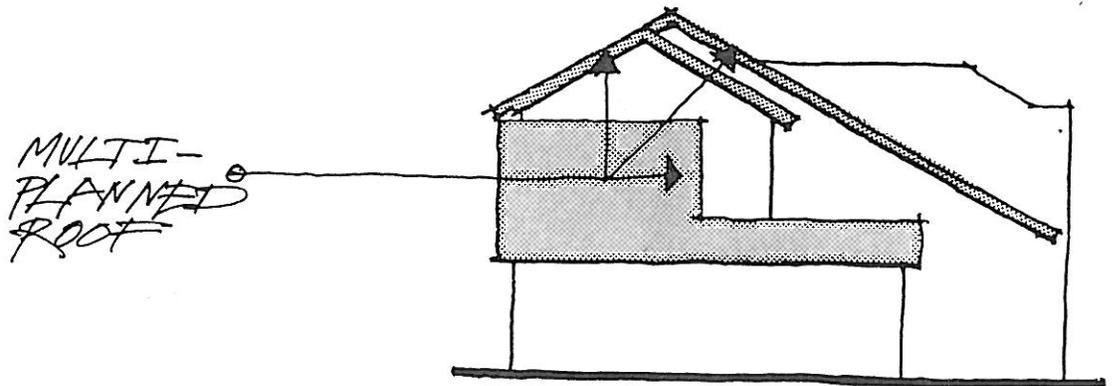
# B. ROOF

## 2. FORM

- FLAT ROOFS ARE UNDESIRABLE
- ROOF ARTICULATION CAN BE ACHIEVED THROUGH VARIOUS PITCHED, MULTI-PLANNED SURFACES WITH JOBS IN RIDGES, POP-OUTS, VALLEYS, ETC.



ROOF ARTICULATION



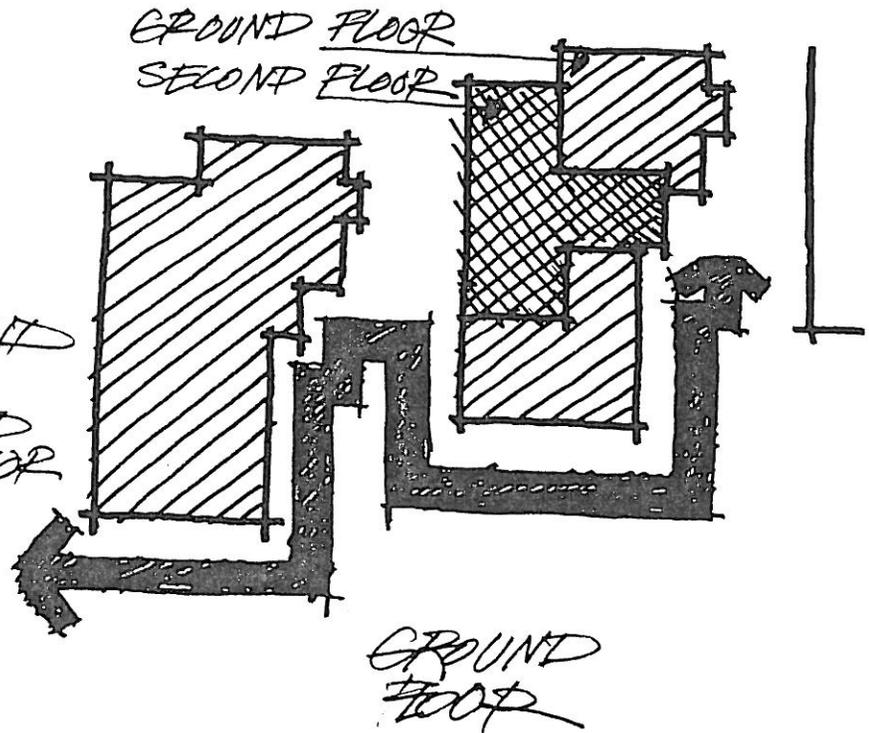
- ROOF LINES AND BUILDING MASSES CREATE VARIOUS SCALES AND PROPORTIONS IN OVERALL FACADE

IV. TYPICAL  
PLOTTINGS

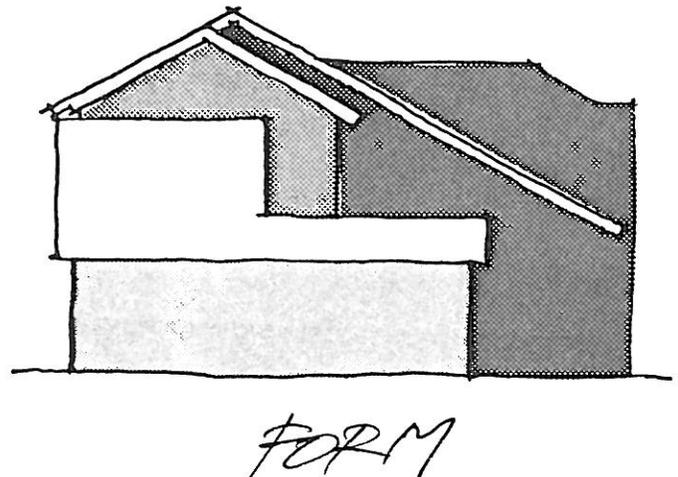
# CO-EXTERIORS

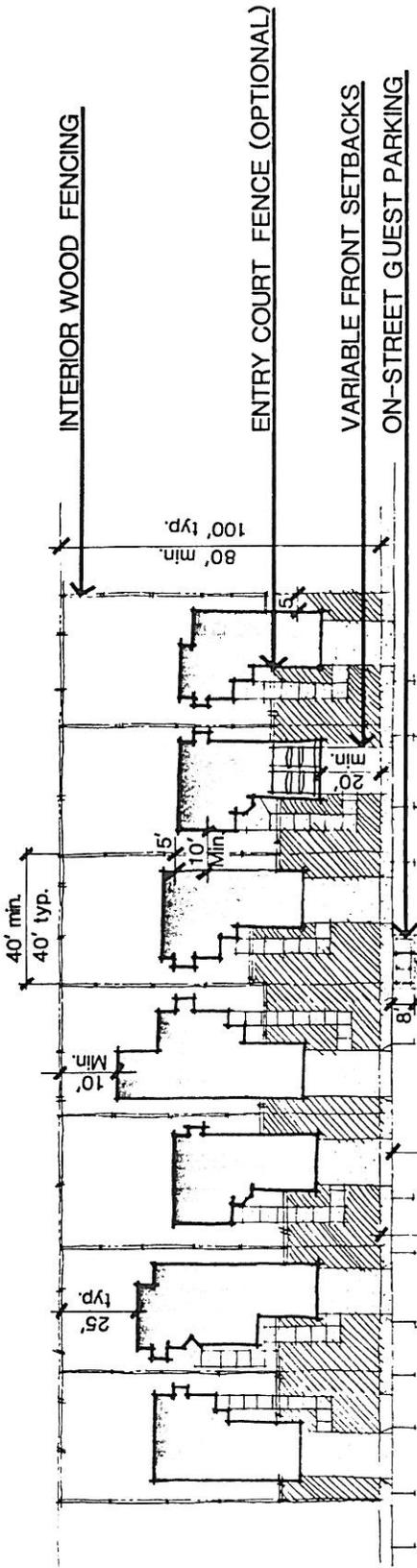
2. FORM  
ARTICULATION OF  
FLOOR PLAN CREATES  
INTERESTING EXTERIOR  
FORMS

ARTICULATION OF  
BOTH THE GROUND  
FLOOR & THE SECOND  
STORY CREATES A  
SERIES OF VARIED  
INTERIOR & EXTERIOR  
SPACES

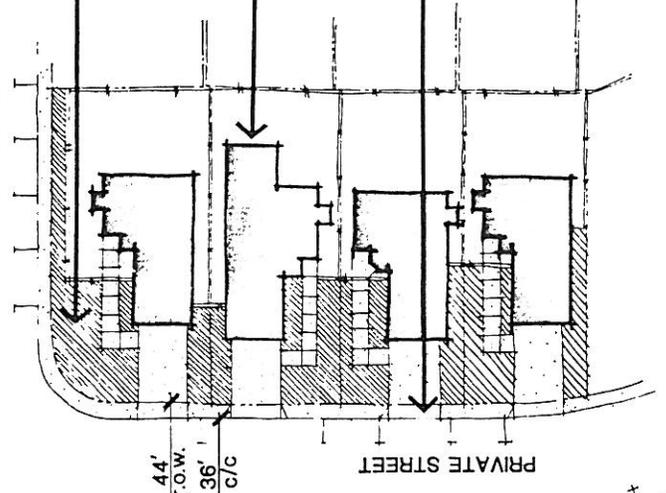


EXTERIOR FORMS  
ARE DEVELOPED  
THROUGH INTEGRATION  
OF ROOF HEIGHTS,  
OF VARIED BUILDING  
FORMS AND  
ARTICULATION BOTH  
VERTICALLY &  
HORIZONTALLY





PRIVATE STREET

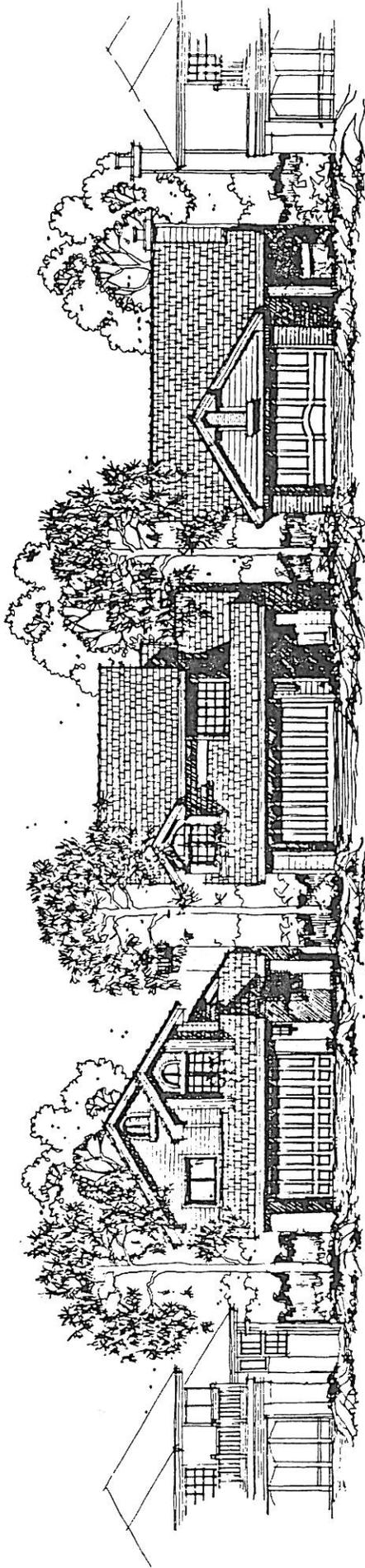


PRIVATE STREET

**VILLAGE HOMES**

UNITS - 30' WIDE  
LOTS - 40' x 100' (TYP.)

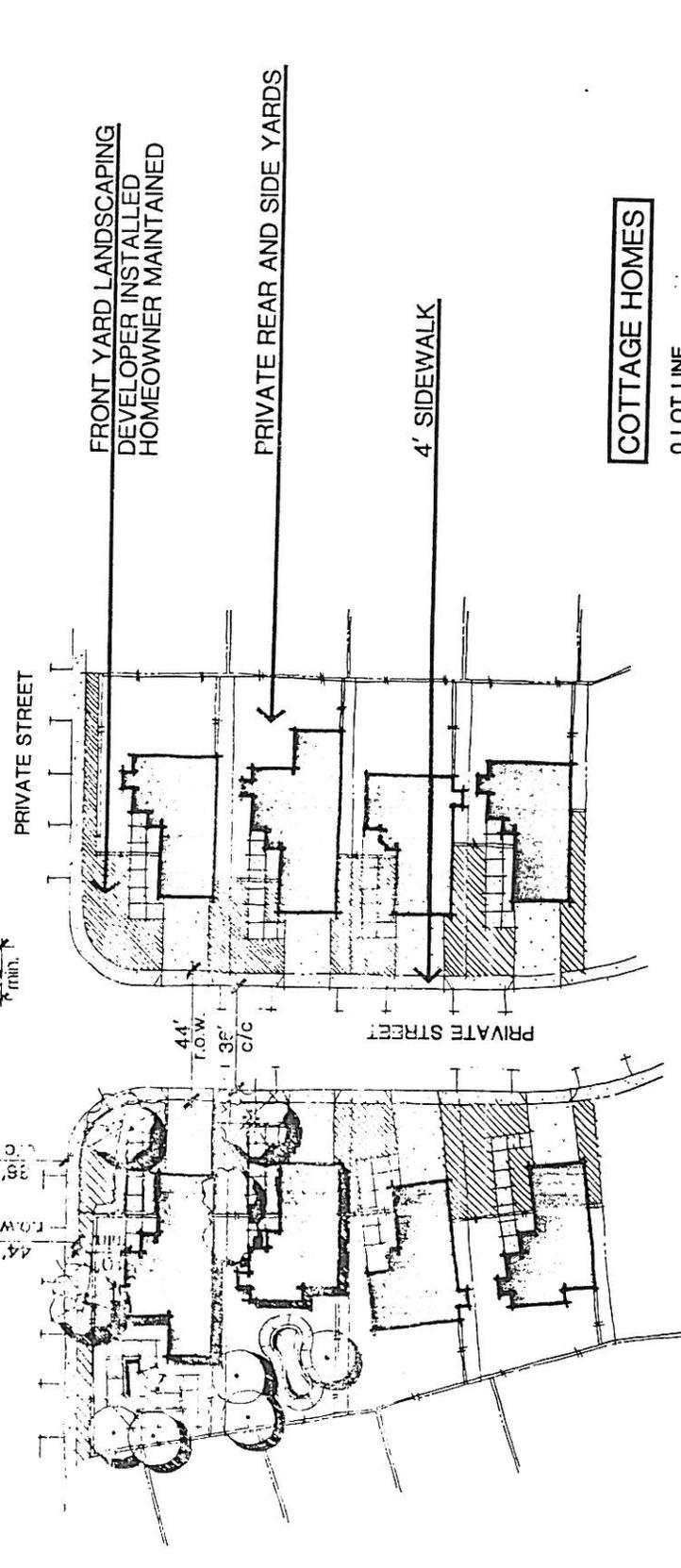
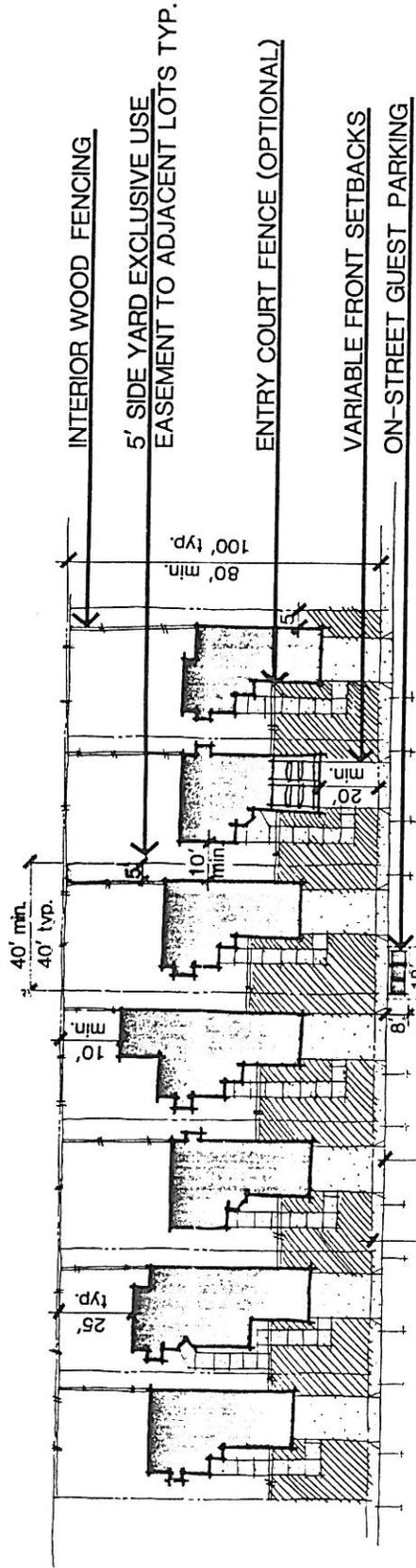
*S. VILLAGE HOMES*



**VILLAGE HOMES**

UNITS-30' WIDE  
LOTS-40'x100' (TYP)

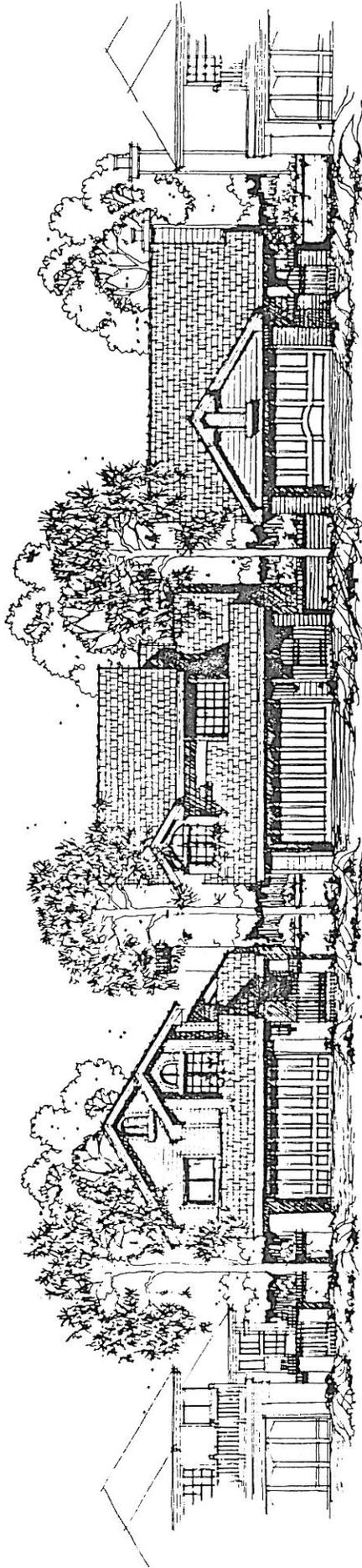
VILLAGE HOME  
ELEVATION



**COTTAGE HOMES**

0 LOT LINE  
 UNITS - 30' WIDE  
 LOTS - 40' x 100' (TYP)

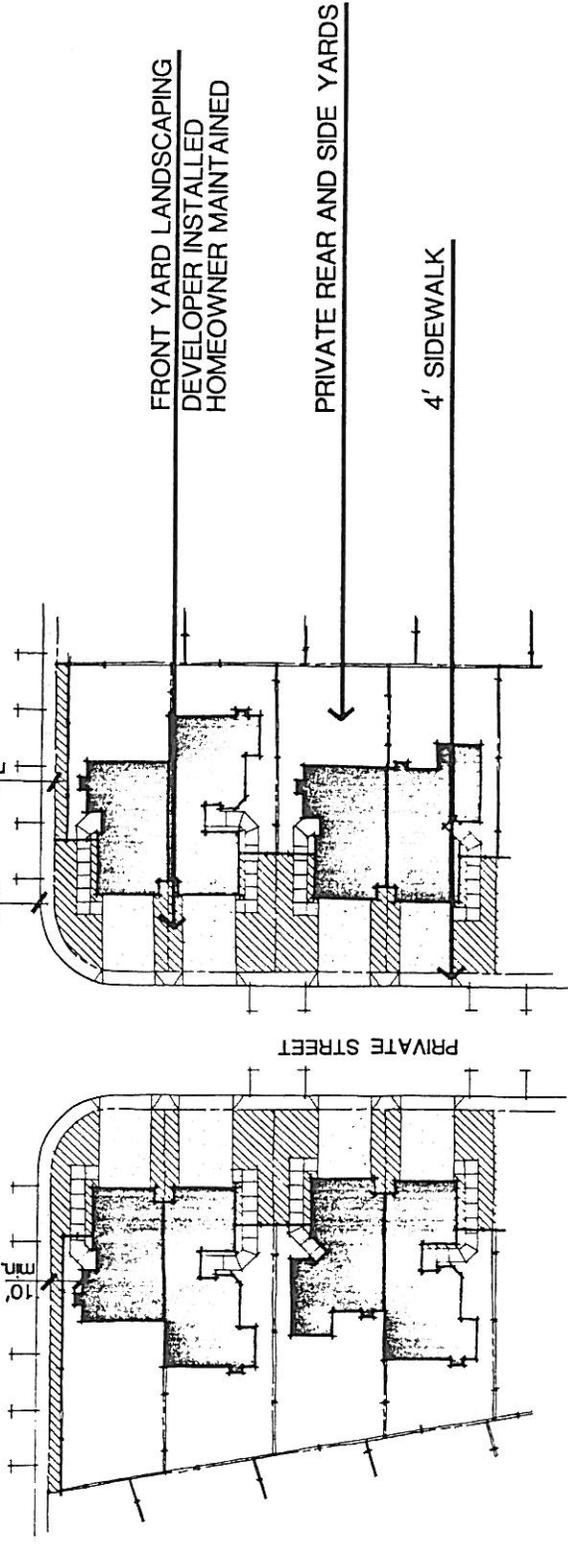
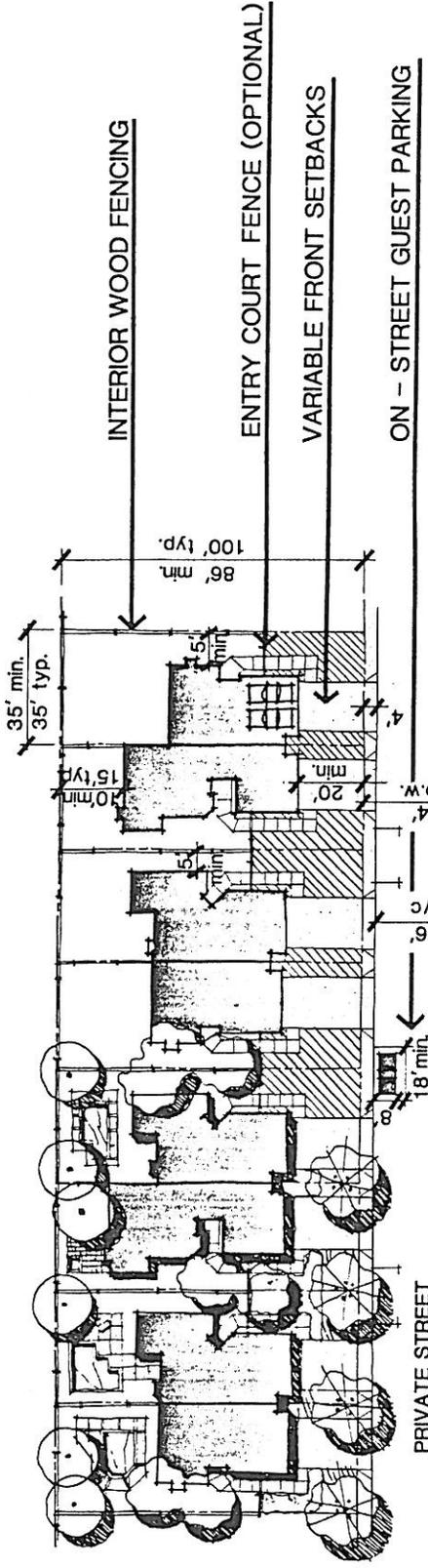
*PO COTTAGE HOMES*



**COTTAGE HOMES**

0 LOT LINE  
UNITS-30' WIDE  
LOTS-40'x100' (TYP)

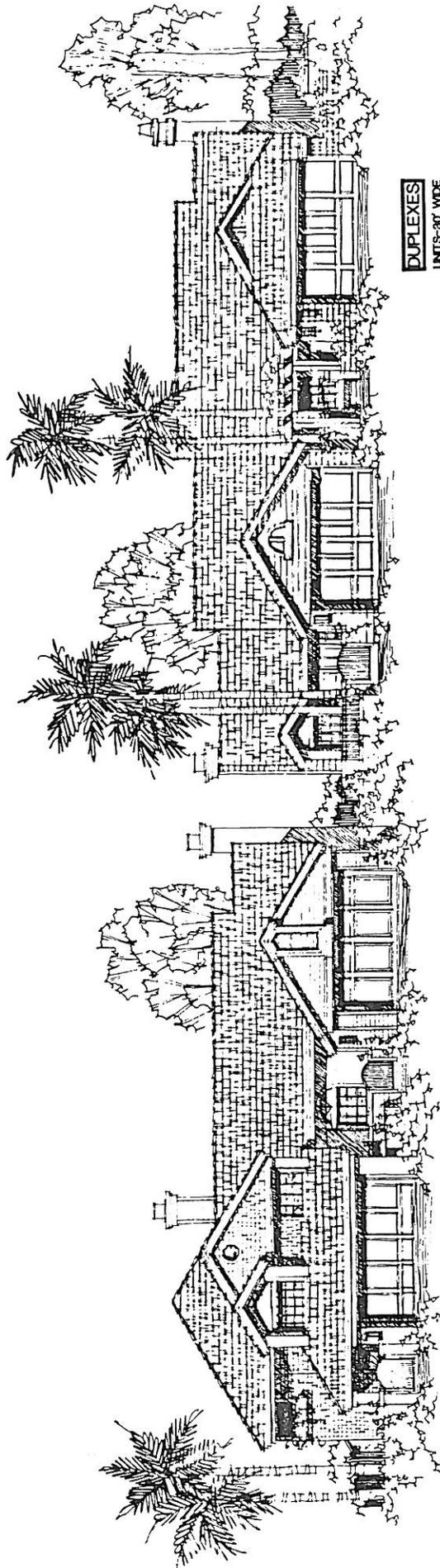
*COTTAGE HOME  
ELEVATION*



**DUPLEXES**

UNITS - 30' WIDE  
LOTS - 35' x 100' (TYP)

*Co DUPLEXES*



DUPLEXES  
UNITS-30' WIDE  
LOTS-35'x100' (TYP)

DUPLEXES  
ELEVATION