

SPECIFIC PLAN 85-1

As amended by Specific Plan Amendment 87-1

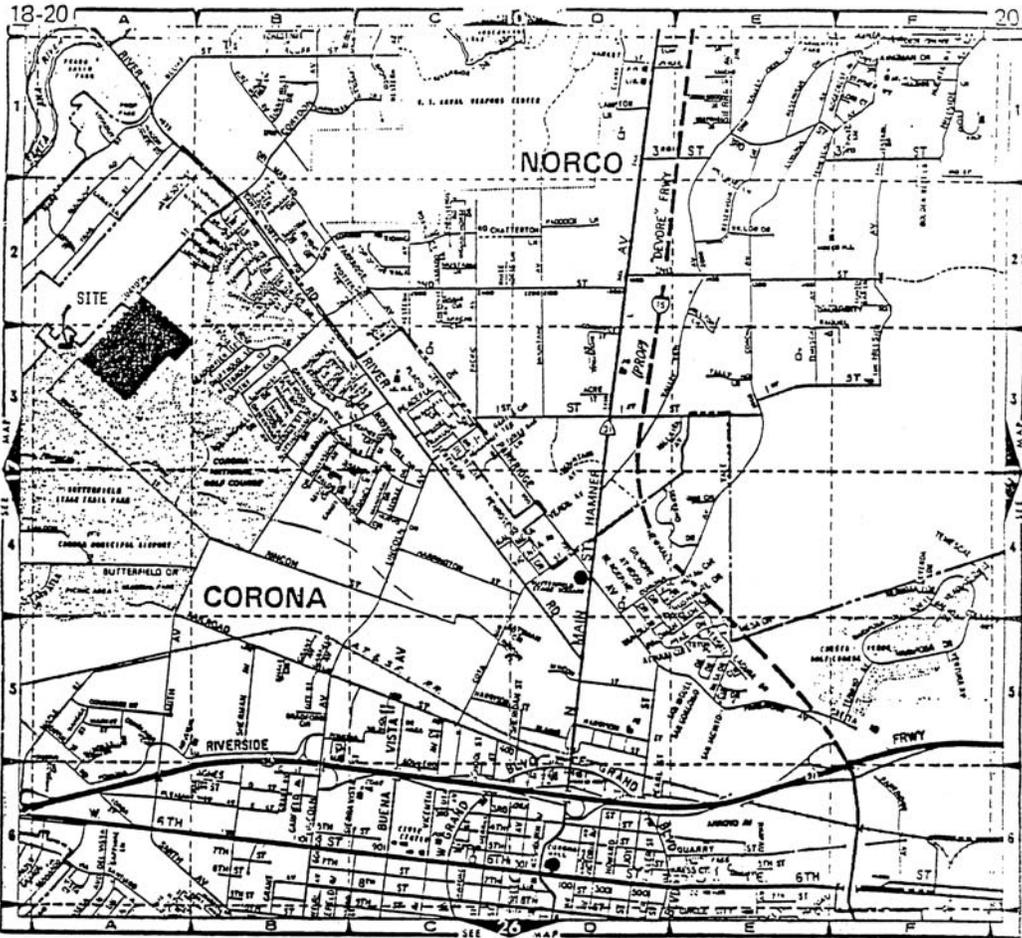
PRADO POINT VILLAGE SPECIFIC PLAN

Submitted to:
THE CITY OF CORONA

Prepared for:
COVINGTON HOMES

Prepared by:
ARCITRONICS CORPORATION
(714) 851-2113

Adopted May 20, 1987



THE PRADO POINT VILLAGE
CORONA, CALIFORNIA



VICINITY MAP
EXHIBIT 1

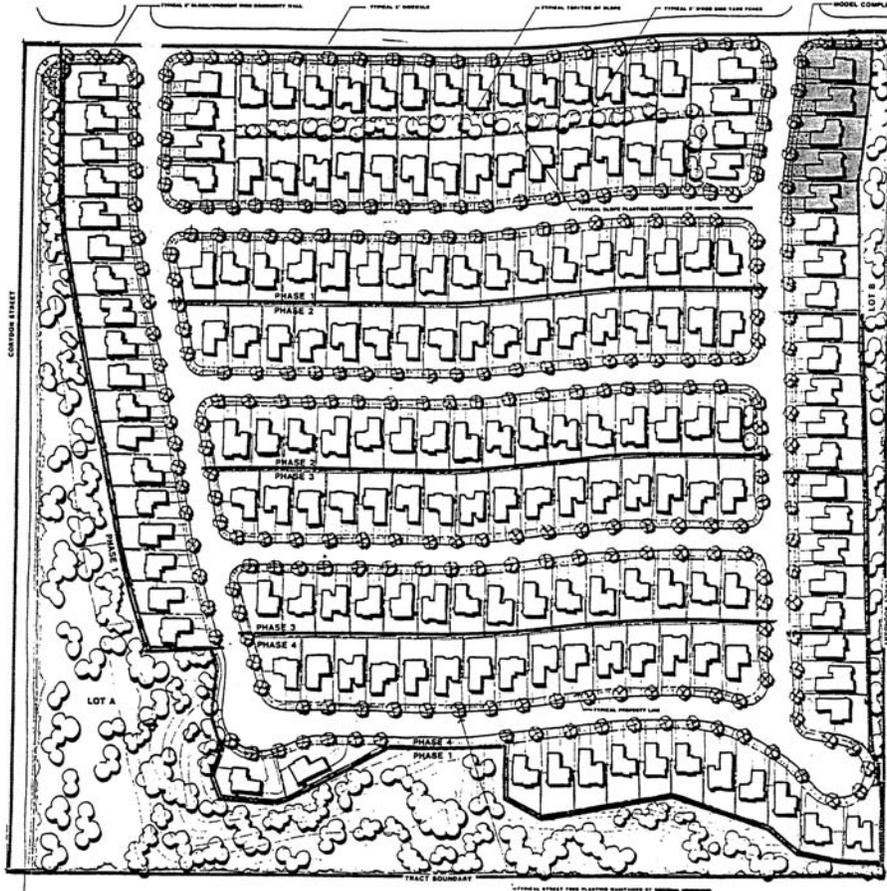
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LIST OF EXHIBITS

EXHIBIT	TITLE
1	Vicinity Map
2A	Tract 20515 Site Plan
2B	Tract 21354 Site Plan
3A	Tract 20515 Landscape & Tree Plan
3B	Tract 21354 Landscape & Tree Plan
4	Survey Plat
5	Entry Sign Graphics
6	Typical Corydon Street Cross section
7	Design Standards/Landscape Concepts
8	Entry Median Landscape Concept
9	Conceptual House Plans Plans 1, 2, & 3
10	Conceptual House Elevations Plans 1A, 1B, 1C, 1D 2A, 2B, 2C, 2D 3A, 3B, 3C, 3D
11	Plot Plan
12	Model Complex Plan

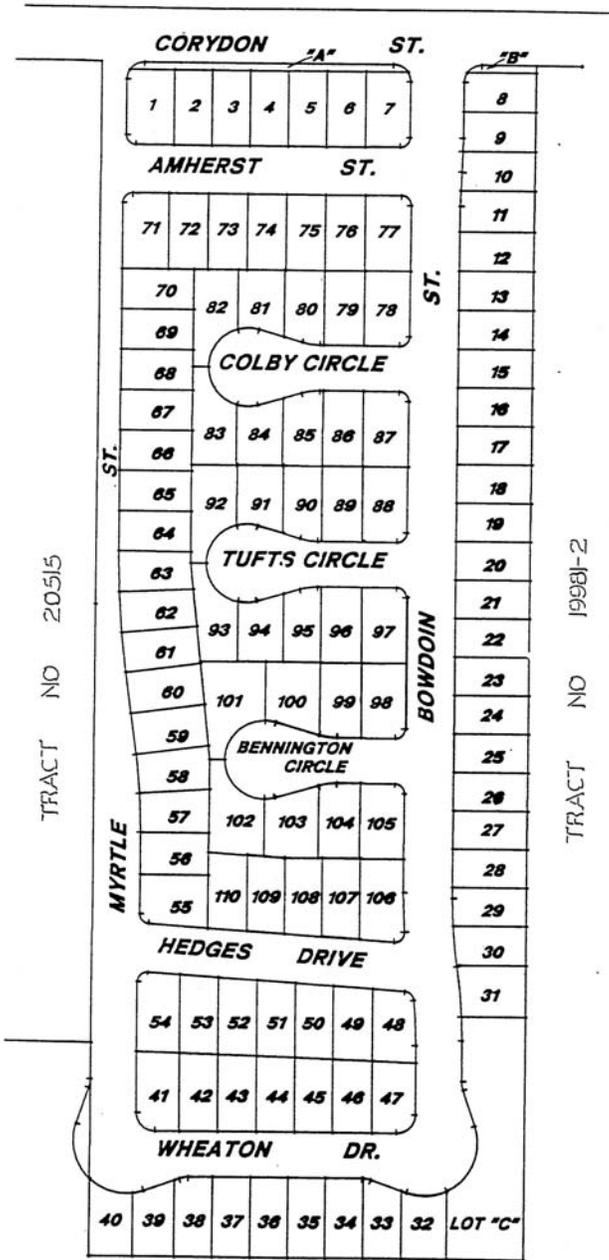
PRADO POINT VILLAGE



SITE PLAN
CORONA TR. 20515
COVINGTON HOMES INLAND COUNTIES



SITE PLAN TRACT 20515
EXHIBIT 2A



PRADO POINT VILLAGE
S.P. 87-1 CORONA, CA.

TRACT NO. 21354
LOTS 1-110 - RESIDENTIAL LOTS
LOTS "A" & "B" - LANDSCAPE LOTS
LOT "C" - OPEN SPACE LOT



TRACT NO 20515

TRACT NO 1998J-2

SECTION 1 - INTRODUCTION

Section 1.0 - Project Description and Location

The Prado Point Village Specific Plan proposes the development of approximately 62 acres of land into a community of single family detached residential dwellings. It is surrounded on three sides by natural open space on the east, south and west joining an approximately 5.0± acres of designated open space on site along Corydon Street. The plan proposes a self- contained community having public streets and based upon the neighborhood concept composed of homeowners who share a desire of individual home and lot ownership in an environment enhanced by the natural beauty of the open space surrounding it. It is located at the northwestern city limits at Corydon Street and Rincon Street south of River Road providing access to the site. The total acreage of approximately (62 acres) of the Prado Point Village Specific Plan currently combines four different contiguous parcels; (Exhibit 4),

Parcel A - Shamma Remainder 9 AC.

Parcel B - Tract 20515. 39.1 AC.

Parcel C - Tract 21354. 19 AC.

Mutual utilities, grading, drainage and road easement agreements will be granted and recorded for the protection and use of all future residents.

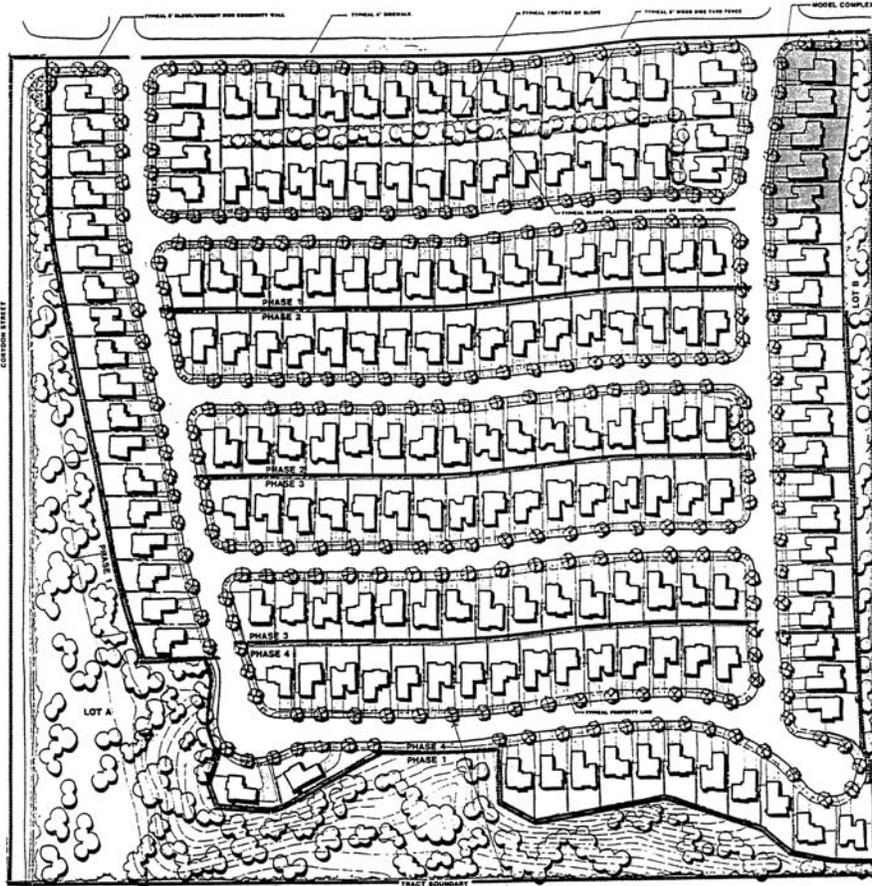
Section 1.1 - Authority and Scope

This Specific Plan includes details, regulations, and conditions necessary for the implementation of the City's General Plan pursuant to California Government Code Section 65451, including:

- A. The location of housing and open space, together with regulations establishing height, bulk and setback limits for such buildings and facilities, including the location of areas, such as flood plains or excessively steep or unstable terrain, where no building will be permitted in the absence of adequate precautionary measures being taken to reduce the level of risk to that comparable with adjoining and surrounding areas.
- B. The location and extent of existing or proposed streets and roads, their names or numbers, the tentative proposed widths with reference to prospective standards for their construction and maintenance.

- C. Standards for population density, including lot size, permissible types of construction and provisions for water supply, sewage disposal and storm water drainage.
- D. Standards for the conservation, development and utilization of natural resources, including the prevention, control and correction of soil erosion caused by subdivision roads or any other sources, and the protection of watershed areas.
- E. The implementation of all applicable provisions of the open space element as provided in Article 10.5 (commencing with Section 65560) of said Government Code.

COVINGTON HOMES
PRADO POINT VILLAGE

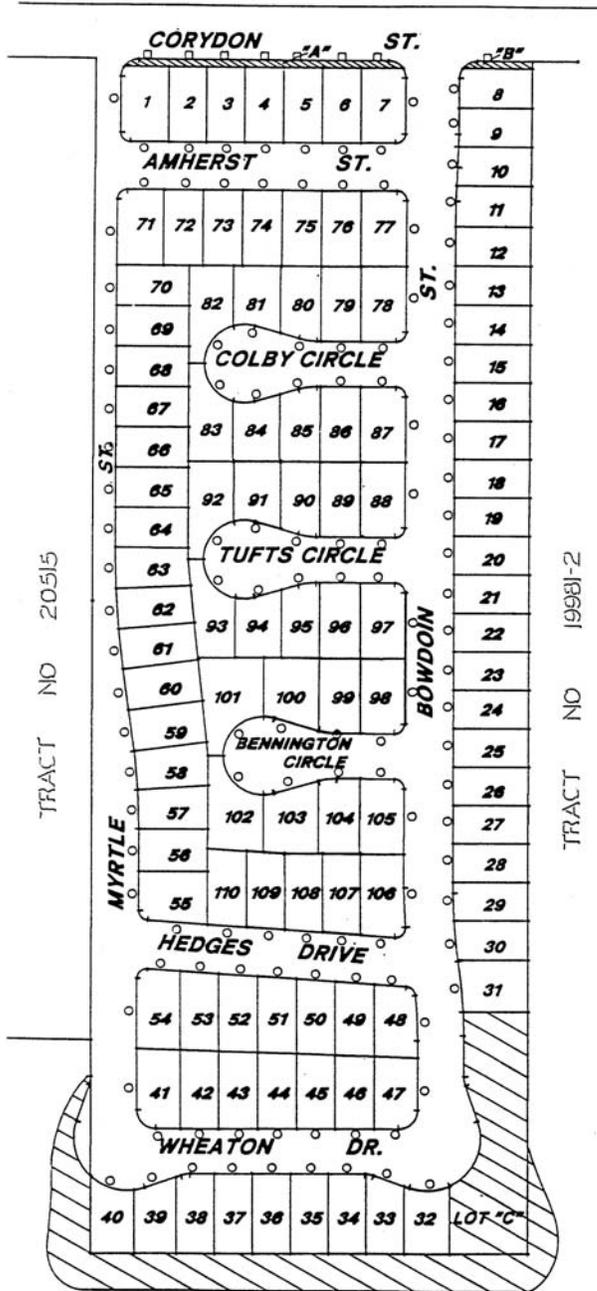


NOTES
1. PHASES SHOWN AS PRELIMINARY CONCEPTS. SPECIFICATIONS OF PLANTINGS SHOWN IN CONCEPT OF THIS PLAN ARE FOR INFORMATION ONLY.
2. ALL TREE AND SHrub SPECIES TO BE PLANTED SHALL BE SEASONALLY APPROPRIATE TO THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT AND SHALL BE OF THE QUALITY AND SIZE SPECIFIED IN THE PLANTING SCHEDULE AND IN THE CONTRACT DOCUMENTS.

PRELIMINARY LANDSCAPE PLAN
CORONA TR. 20515
COVINGTON HOMES INLAND COUNTIES



LANDSCAPE AND TREE PLAN
EXHIBIT 3A



PRADO POINT VILLAGE
S.P. 87-1 CORONA, CA.

TRACT NO. 21354
LOTS 1-110 - RESIDENTIAL LOTS
LOTS "A" & "B" - LANDSCAPE LOTS
LOT "C" - OPEN SPACE LOT

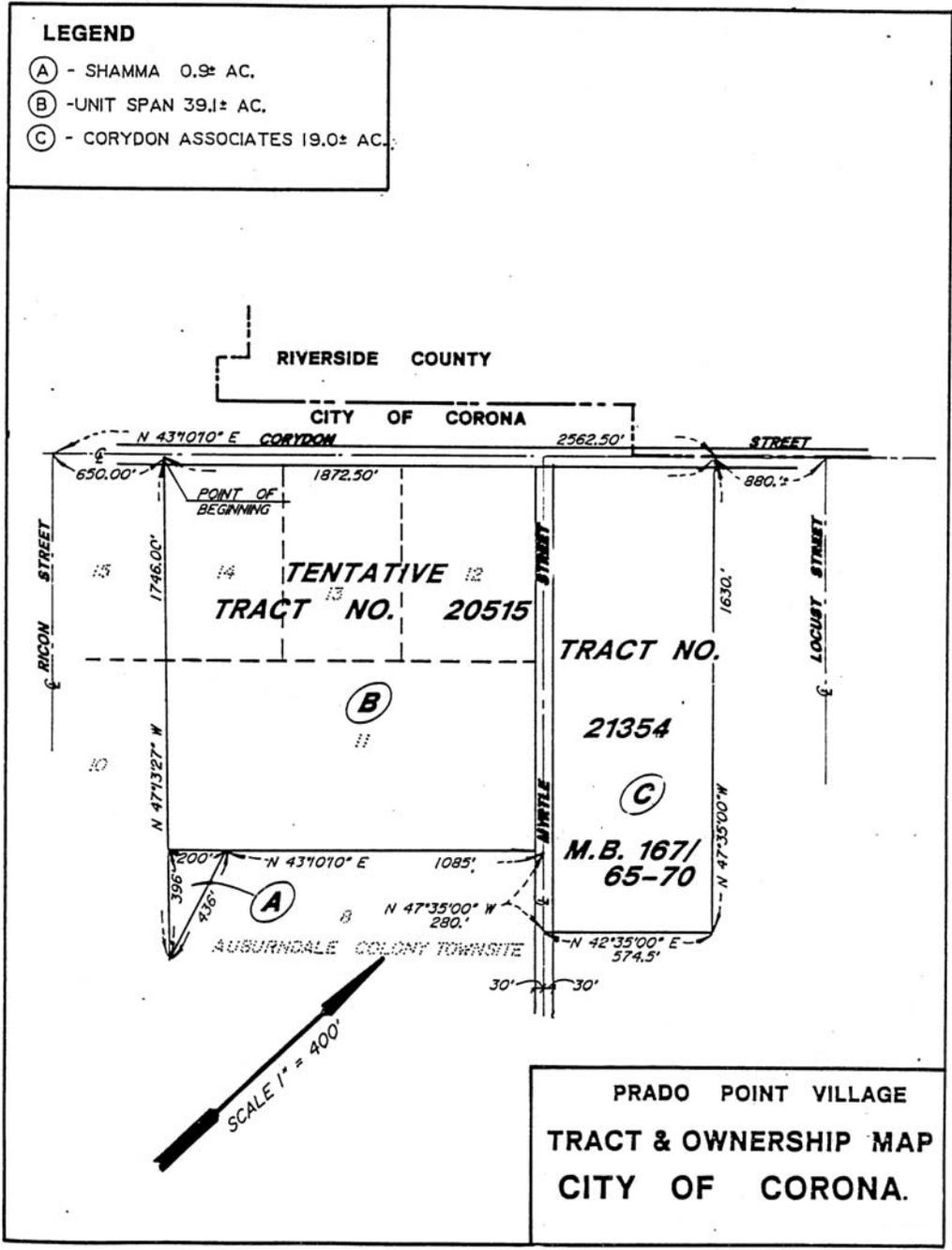


LANDSCAPE LEGEND

- BOTTLE TREE - BROCHYCHITON
POPULNEUME @ ± 40 FOOT SPACING
- GRAPE MYRTLE - LAGERSTROEMIA
INDICA @ ± 40 FOOT SPACING
- ▨ LANDSCAPED AREAS

LEGEND

- (A) - SHAMMA 0.9± AC.
- (B) - UNIT SPAN 39.1± AC.
- (C) - CORYDON ASSOCIATES 19.0± AC.



PRADO POINT VILLAGE
TRACT & OWNERSHIP MAP
CITY OF CORONA.

SURVEY PLOT
EXHIBIT A

SECTION 2 - PLANNING, GOALS AND OBJECTIVES

Section 2.0 - General Plan Goals and Objectives

The following goals and objectives from the Land Use Element of the Corona General Plan are relevant to this Specific Plan.

- A. To develop a land use pattern which meets the basic needs of Corona residents for essential services, working and living areas, and area for pursuit of leisure time activities.
- B. To economize on the costs of municipal facilities and services and the extension of these services by phasing residential development in a manner consistent with availability of public improvements.
- C. To consider the land use requirements and population pressures within the region, state and nation while maintaining standards for essential services.
- D. To protect development that may occur in areas sensitive to development due to hillside character, geologic hazard or flood hazard.

The following goals and objectives from the Housing Element of the General Plan are particularly relevant to this Specific Plan:

- A. To encourage development of housing to satisfy the shelter and home environment needs of existing and future Corona residents.
- B. To develop neighborhoods properly related to essential community services.
- C. To encourage development of housing available to all income and age levels.
- D. To minimize housing cost while maintaining local standards of housing quality through continual monitoring of local codes and ordinances, when this can be accomplished without reducing quality or sacrificing safety and the protection of life and property.

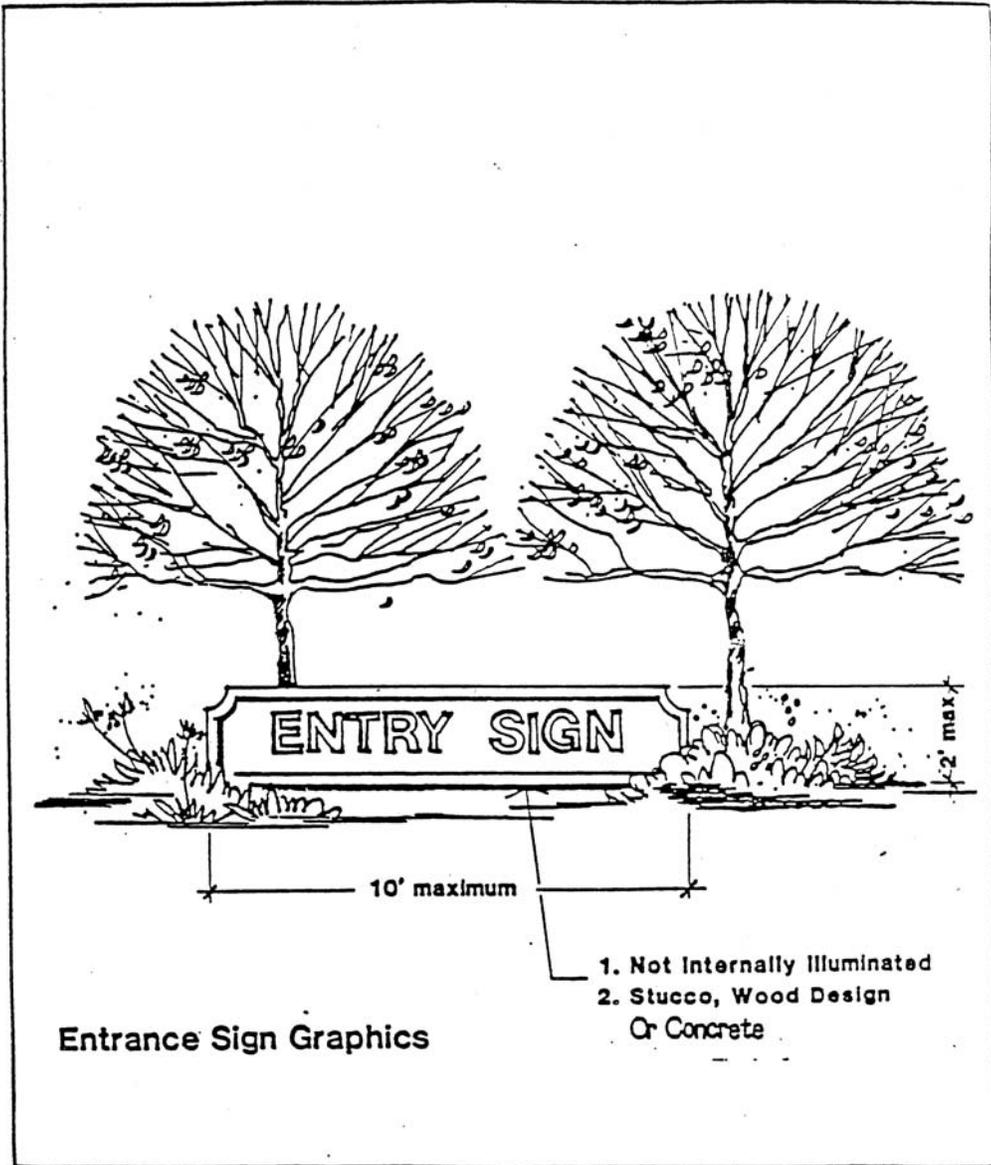
Section 2.1 - Implementation of General Plan, Goals and Objectives

The following concepts have been utilized in implementing the goals and objectives of the General Plan into the Specific Plan and are directly related to one or more of the goals listed in Section 2.0.

- A. Provide a land use pattern that eliminates through vehicular traffic, thereby providing additional safety and security.

An interior loop with 64'.0 right-of-way width, will inter connect all other interior proposed streets. This will help to minimize vehicular traffic hazard congestion and provide fast and efficient access f emergency services to any point within the village.

- B. Develop in close proximity to other residential development, thereby minimizing the cost for the extension of municipal facilities and services.
- C. A portion of the site along Corydon has a flowage easement from the possible backup of Prado Dam. Therefore, the Site Plan incorporates a landscaped open space lot within this easement that will be maintained by a City administered Landscape Maintenance District. Additionally, the pads are proposed to be raised to an elevation one foot (1') minimum above the future spillway to protect them from possible flood hazard.

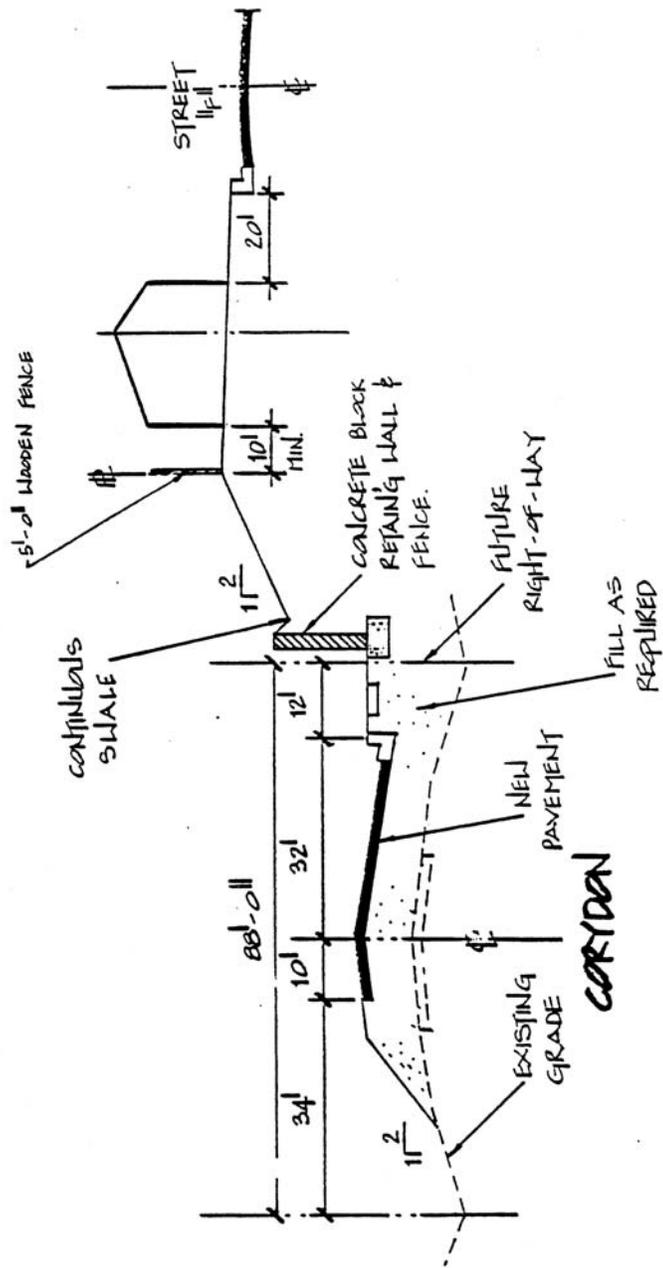


Entrance Sign Graphics

- 1. Not Internally Illuminated
- 2. Stucco, Wood Design Or Concrete

PRADO POINT VILLAGE

ENTRY SIGN GRAPHICS
EXHIBIT 5



TYPICAL CORYDON STREET CROSS-SECTION
 EXHIBIT 6

Section 3.0 - Definitions

Terms used in this text shall be defined as in Section 17.04 of the Corona Municipal Code.

Section 3.1 - General Requirements

The following requirements are of a general nature applying to the entire Specific Plan area.

3.1.1 - Vehicular Access Each lot shall have individual permanent vehicular access to a public street.

3.1.2 - Maintenance

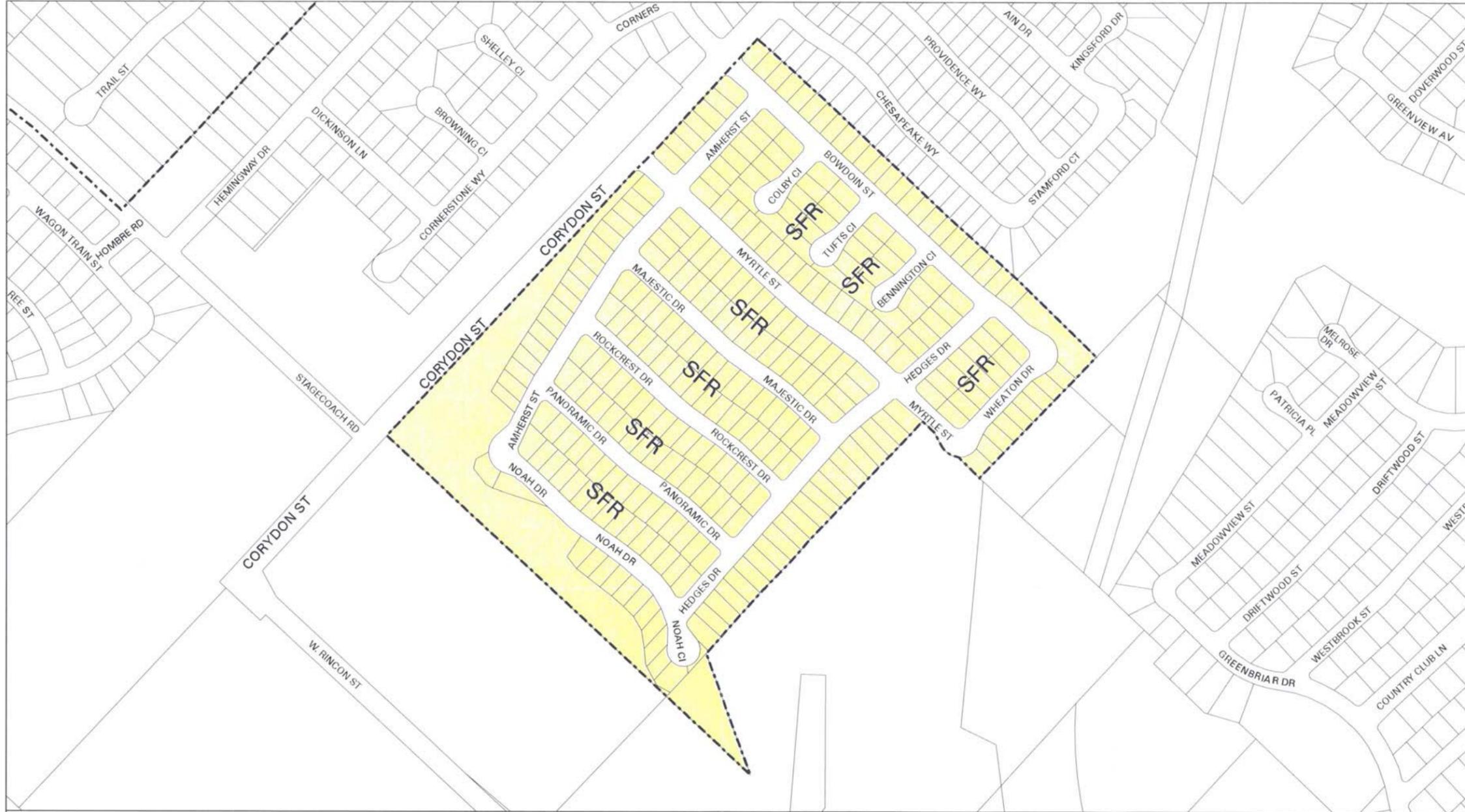
- A. 1. All public street improvements including water and sewers will be maintained by the City of Corona.
- 2. Proposed Open Space Lots A & B, as shown on Exhibit 3, will be incorporated into a City administered Landscape Maintenance District. Future homeowners will pay a fee through their taxes to cover the cost of such maintenance.
- B. Private on-site front yard landscaping and on-site slopes shall be maintained by the individual homeowner.

3.1.3 - Conflict in Regulations Whenever the regulations in this text conflict with the regulations of Title 16, Chapter 16.04 through 16.32 and Title 17, Chapters 17.02 through 17.108 of the Corona Municipal Codes, the regulations of the Prado Point Village Specific Plan shall take precedence.

3.1.4 - Model Complex Sales Office Within the Specific Plan area, any model complex and/or sales office designed for temporary use in such a manner shall be permitted subject to review and approval by the Board of Zoning Adjustment in accordance with Chapter 17.98 of the Corona Municipal Code.

3.1.5 - Landscape Plans All required landscape plans shall be prepared by a licensed landscape architect.

3.1.6 - Application of Other Ordinances Except as specifically provided in SP 85-1, all other ordinances and regulations of the City of Corona shall apply.



SFR Single Family Residential

City of Corona 85-1 Prado Point Specific Plan

LAND USE PLAN

This map is intended for general information and planning purposes. The City of Corona is not responsible for any errors or omissions.

City of Corona
Geographic Information Services
Last Updated On: 11/29/2002
Updates Through SPA 01-002

SECTION 4 - LAND USE

Section 4.0 - Land Use

The Illustrative Site Plan, Exhibit 2, shows the existing land use for the surrounding property and the proposed land use for the Prado Point Village area.

Specific Plan Land Use Designation

Single Family Residential:

0 to 6 dwelling units per gross acre

4.0.1 - Land Use Statistics

Gross Area - 62

Maximum Allowable Dwelling Units - 372

Proposed Total Dwelling Units — 316

Maximum Gross Density Per Acre - 5.09

Section 4.1 - Designation of Residential District

The following residential use District is established to correspond to the principal land use designation (Section 4.0.1):

SFR Single Family Residential

Section 4.2 - Single-Family Residential District (SFR)

4.2.1 - Purpose The SFR District is intended as a district of single-family homes with not more than one dwelling and accessory structure upon one lot. Except as specifically provided elsewhere in this title, any and every building or land parcel in the SFR district shall be used and/or occupied and every building shall be erected, constructed, established, altered, enlarged, maintained, or moved into, within said SFR district exclusively and only in accordance with the following regulations.

4.2.2 - Permitted Uses The following uses shall be permitted in the SFR district subject to property development standards in Section 4.2.5:

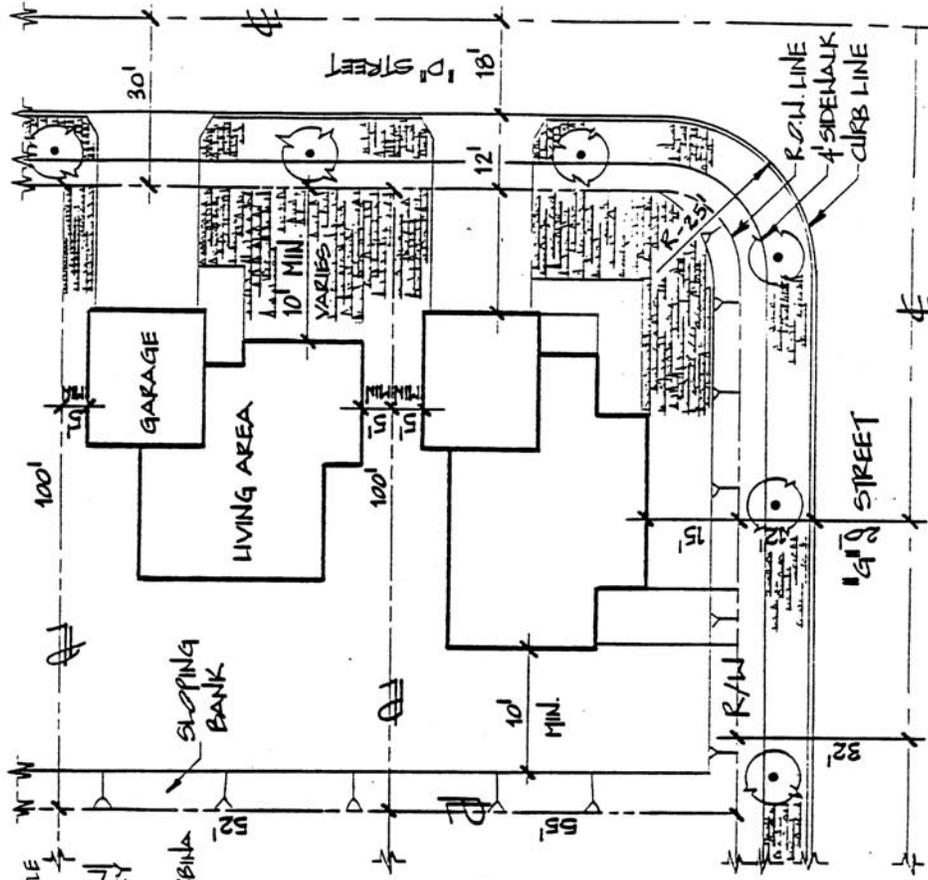
- A. One-family dwelling of a permanent character placed in a permanent location.

DESIGN STANDARDS / LANDSCAPE CONCEPTS

PLANT LEGEND

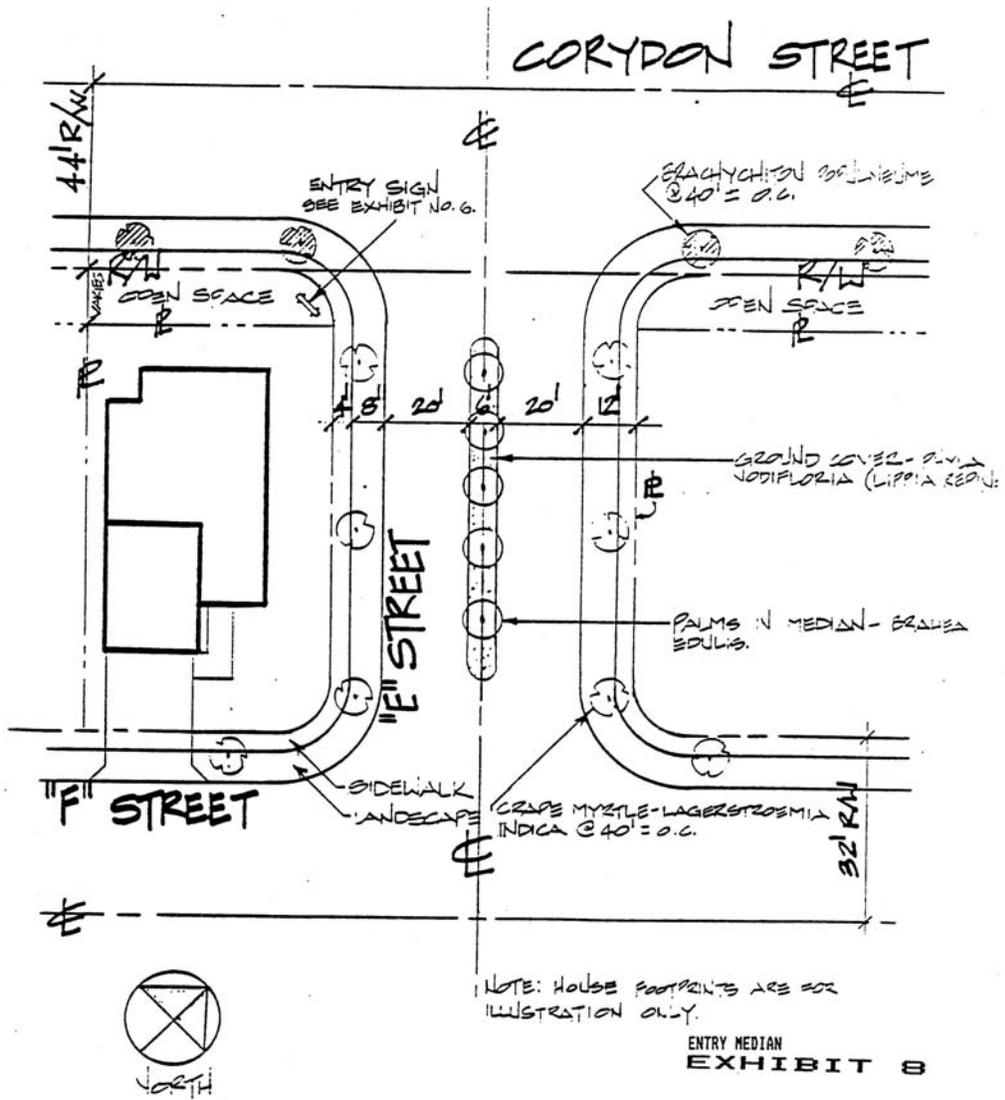
-  EVERGREEN STREET TREE - CRAPE MYRTLE
-  LASESTROEMIA INDICA @ 40' I.O.C.
-  SLOPE PLANTING - HYDROSEEDING w/
-  WILD FLOWER MIX.
-  GRASS MIX - BLUE EYED, P.H. VERBENA
-  & MOSS VERBENA GRASSES.

NOTE: HOIKE FOOTPRINTS ARE FOR ILLUSTRATION ONLY.



DESIGN STANDARDS / LANDSCAPE CONCEPT
EXHIBIT 7

ENTRY MEDIAN / LANDSCAPE CONCEPT



- B. Animals to maximum numbers as follows:
 - Three weaned cats; and
 - Three weaned dogs;
- C. Home Occupations pursuant to CMC Chapter 17.80.
- D. House trailer, may be used as a construction project office during time of construction when a valid building permit is in force;
- E. Manufactured housing in conformance with provisions established in Chapter 17.81 of the Corona Municipal Code;
- F. Renting of rooms to not more than four roomers and/or the providing of table board to not more than four boarders in addition to members of the family occupying a one-family residence;
- G. Uses customarily incidental to any of the above uses and accessory buildings, including a private garage, private recreation facilities and servants quarters, provided no kitchen or kitchen facilities shall be included in any such accessory building.
- H. Secondary dwelling unit of a permanent character placed in a permanent location may be permitted subject to approval of a secondary residential permit as provided for in Chapter 17.85.
- I. Similar uses permitted by commission determination:

The commission may, by resolution of record, permit any other uses which it may determine to be similar to those listed above, in conformity with the intent and purpose of this Specific Plan and not more Obnoxious or detrimental to the public health, safety and welfare, or to other uses permitted in this district in accordance with Chapter 17.88 of the Corona Municipal Code.

4.2.3 - Conditional Uses The following uses may be permitted subject to conditional use permits provided for in Chapter 17.92 of the Corona Municipal Code.

- Churches;
- Day Nurseries or Nursery Schools

4.2.4 - Prohibited Uses Uses prohibited in the SFR district are as follows:

Commercial Uses;
Manufacturing Uses; and
Agriculture.

4.2.5 Property Development Standards - Generally The following property development standards shall apply to all land and buildings in the SFR district.

4.2.5-1 - Lot Area, Lot Width and Lot Depth Requirements The minimum area of any lot or parcel of land in the SFR district shall be 5,000 square feet with a minimum width of fifty feet (50'); and a minimum lot depth shall be eighty-five feet (85'), except cul-de-sac lots will have an average of 85' minimum depth.

4.2.5-2 - Building Height The height of buildings or structures shall not exceed two stories or forty feet (40') from finished grade, provided that in areas of fire department access at front and rear and to windows of living areas, the height shall not exceed thirty feet (30') from finished grade.

4.2.6 - Yards

A. Front Yard Setback In order to provide a more desirable street scene:

1. On any one street, the front yard setback to be variable with an average of fifteen feet (15'), and a minimum of ten feet (10'), except, where garages open directly onto an abutting street, in which case the minimum setback to the garage shall be twenty feet (20'). Except with the approval of the Board of Zoning Adjustment in accordance with Corona Municipal Code Chapter 17.98, the front yard setback may be reduced to fifteen feet (15') if said garages are equipped with operable electric garage door openers.
2. For special conditions, the provisions of Section 17.64.040.

B. Side Yard Setback

1. Interior Side Yards
 - a. Typical: Lots shall have side yard widths of not less than five feet (5').

- b. Exception An attached patio structure open on three sides may extend to within three feet (3') of any side property line.
 - 2. Street Sideyards Corner lots on local streets shall have a sideyard on the side street side of not less than ten feet (10') and on secondary streets not less than fifteen feet (15'), except that an attached patio structure, open on three sides, may extend to within ten. feet (10') of the property line.
- C. Rear Yard Setbacks Each lot shall have a rear yard set back of not less than ten feet (10') of flat usable area, except that an attached patio structure open on three sides may extend to within three feet (3') of any rear property line.

4.2.7 - Coverage Lot area coverage by buildings or structures shall not exceed fifty-five percent (55%) of the total lot area exclusive of outside open patio structures having three open sides.

4.2.8 - Walls, Fences and Landscaping The provisions of Corona Municipal Code Chapter 17.70 shall apply. Along Corydon Street at Right of Way line and behind lots 1, 2, 207 thru 215 a masonry block wall will be constructed to compliment and/or match the masonry of the adjacent Parkview SP 84-2. Wall design and material to be approved by Planning Director at the time of building plan check approval. All housing units will have a minimum five feet(5'-0") high interior wood fence along side and rear property lines. (Exhibit 7)

4.2.9 - Off-Street Parking The provisions of Corona Municipal Code Chapter 17.76 shall apply.

4.2.10 - Minimum Dwelling Unit Area A single family dwelling of a permanent character shall be placed in a permanent location and contain not less than 975 square feet of gross floor area, exclusive of open patios and garages.

4.2.11 - Accessory Buildings The provisions of Corona Municipal Code Chapter 17.66 shall apply.

SECTION 5 - COMMUNITY DESIGN CONCEPT

Section 5.0 - Introduction

This section focuses on the planning features and design details of the Specific Plan. The area of the Specific Plan is served by Corydon Street, a secondary highway. The design standard and improvements described below will enhance the safety of the local circulation system.

Section 5.1 - The Development Area

5.1.1 - Single Family Residential The typical arrangement in the development area will be for a minimum 5,000 square foot single family residential lot to be located on a public local street.

5.1.2 - Entries The two access points into Corydon will have a center median landscaped island. An entry sign monument will be provided at both access points. Each will be surrounded by flowering shrubs and specimen trees. (Exhibits 5 & 8)

Section 5.2 - Circulation

5.2.1 - Secondary Highways The development is served by Corydon Street, a planned secondary highway, which interconnects to Rincon Street on the south and to River Road on the north. Thus, in essence, traffic from and into the proposed Prado Point Village can flow in either direction. Presently Rincon Street, because of occasional flooding, may not be usable all year round.

5.2.2 - Local Streets A curvilinear local street system with the Specific Plan is laid out to serve its residents, while at the same time minimizing the amount of vehicular traffic on any one Street. A loop will interconnect all local interior streets to provide efficient and safe circulation within the Village.

Section 5.3 - Roadway Enhancement

5.3.1 - Parkway (Corydon) Trees are to be planted per City standards in the parkway as shown on Exhibit 3A.

5.3.2. - Parkway (Local Streets) To be landscaped with trees plant ed per City standards.

Section 5.4 - Landscape Requirements

To maintain high quality Street scene and pleasant neighborhood environment, the Developers will landscape with lawn and a sprinkler system prior to occupancy, the front yards of all interior lots and the front and street side yards of all corner lots and their abutting parkway areas.

The Street trees, parkways and other landscaped areas which are separated from adjacent residences by fence or wall, shall be provided with automatic sprinkler systems. Natural and graded slopes within private lots will be landscaped according to City Code and standards and irrigated manually by individual homeowners. (Exhibits 7)

Section 5.5 - Residential Units

5.5.1 - Phase I only Final House Plans, elevations, and area shall be in substantial conformity with the Conceptual House Plans and Elevations shown on Revised Exhibits 9, 10, and 11. Minor changes or modifications will be subject to the approval of the Planning Director in accordance with the provisions of Corona Municipal Code Section 17.92.150.

5.5.2 - Subsequent Phases House Plans, Elevations and Foot Prints may vary from Exhibits 9, 10, 11 and 12 depending on marketing requirements at that time. Revised house plans and elevations will be submitted to the Planning Director for approval prior to issuance of building permits in accordance with Corona Municipal Code Section 17.92. 150.

Section 5.6 - Open Space - Lots A & B

Lots NA” and “B” are to be designed for landscaped visual open space purposes. These two lots will be fully designed and improved by the individual developers to City slope standards and shall be consistent with the Landscape Concept (Exhibits 3A & 3B)

Any proposed modifications to the City’s slope planting requirements (Section 17.70.070) imposed on land owned by the Army Corps of Engineers must be submitted to the Planning Director for review and approval prior to issuance of a building permit.

A Landscape Maintenance District shall be established to provide the required maintenance for the two lots, for all public parkway, and street trees within the Specific Plan.

SECTION 6 - MUNICIPAL SERVICES PLAN

Section 6.0 - Introduction

The Prado Point Village Specific Plan provides for Municipal and public utility services to be provided by the developer during site improvement and development. These services will include potable water supply, sewage disposal system, storm drainage facilities, electric power, natural gas, and communication system distribution elements. Where feasible, such municipal services shall be provided within the public street right-of-way. Where otherwise required, easements for these services shall be coordinated with and accommodated within the development areas.

Section 6.1 - Water Facilities

Water facilities including master plan improvements and a water system design report for the Specific Plan area will be provided by the Developer. When determined at the time of Tentative or Final Map submittal, facilities required to provide the necessary sanitary service with the Director of Utilities Services approval, will be provided by the Developer, as a condition of approval. Alternatively, upon payment of the required sewage capacity fees, said sewer facilities will be provided for the project by the Developer.

Section 6.2 - Storm Drainage System

Drainage for the Specific Plan area will be provided by the Developer. These facilities may include as required, storm drains, catch basins, inlet and outlet structures, grading, use of existing facilities and other related facilities. Storm water will be collected in the street area where it will be directed into existing offsite drainage basis facilities.

Section 6.3 - Public Utilities

Public utilities serving the Specific Plan area will be provided by the respective public utility companies and will include electricity, natural gas, telephone, and cable television.

SECTION 7 - SUBDIVISION

Section 7.0 - Application

The provisions of this section shall be the standards for subdivisions in the Prado Point Village Specific Plan area. Standards which are not addressed in this section shall be governed by Title 16, Subdivision Ordinance, and City of Corona.

Section 7.1 - Design Standards

The design shall conform to the City of Corona Standards:

7.1.1 - Local Street Widths

- A. Local interior streets shall have a sixty foot (60') right-of-way width with thirty-six feet (36') between curbs.
- B. The two entry access points (E & I) from Corydon and the circulation loop road (F, G & E) will have a sixty-four foot (64') right-of-way width with forty feet (40') between curb.

7.1.2 - Cul-de-Sacs The design shall conform to the City Standard:

- A. Cul-de-Sac turnarounds shall be designed to accommodate the turning radius of trash disposal trucks and emergency equipment, but in no case shall the turning radius be less than a forty-four foot (44') radius to the front of the curb.
- B. The maximum length of a cul-de-sac will be five hundred feet (500'). Each lot on a cul-de-sac or on a knuckle will have a forty-five foot (45') minimum width at the curb line.

7.1.3 - Blocks

Residential blocks shall be two (2) lots deep except along major and secondary highways where they may be one (1) lot deep.

7.1.4 - Minimum street grade shall be 0.40%; maximum street grade shall be 10% except that grades up to 15% may be allowed where determined appropriate by the Public Works Director and Fire Chief. The Public Works Director may require slope easement for any cut or hill slopes outside the right-of-way.

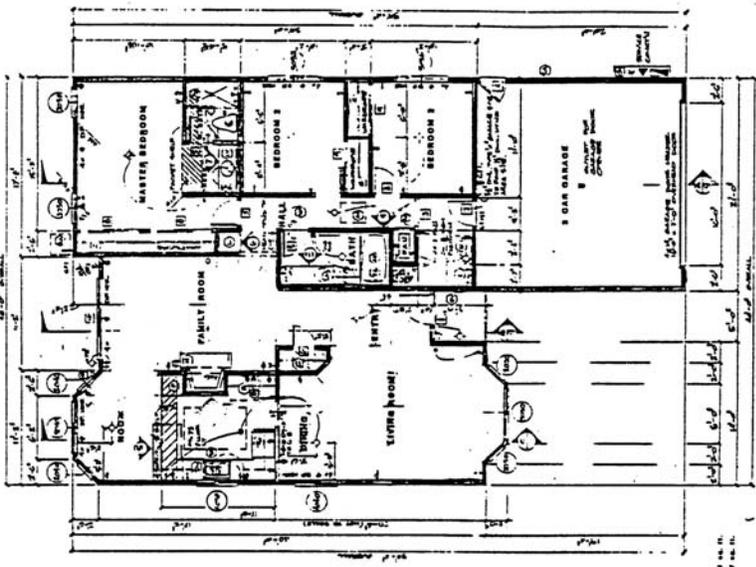
Section 7.2 - Specific Plan and Subdivision Map Consistency

The provisions of this Specific Plan shall control the Development of this plan. The applicant shall prepare and file the appropriate Tentative Tract Map(s) and Final Tract Map(s) for the expressed purpose of the implementation of the Specific Plan elements.



FOUNDATION AND
 FLOOR PLAN

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11/11/88	88
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11/11/88	100

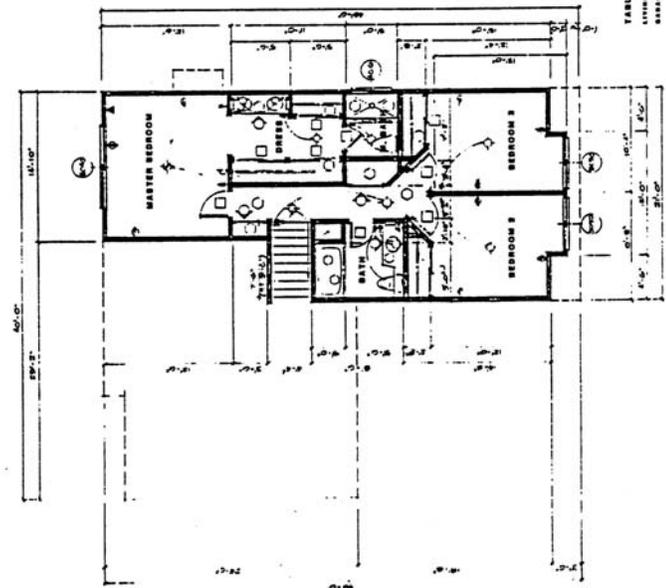
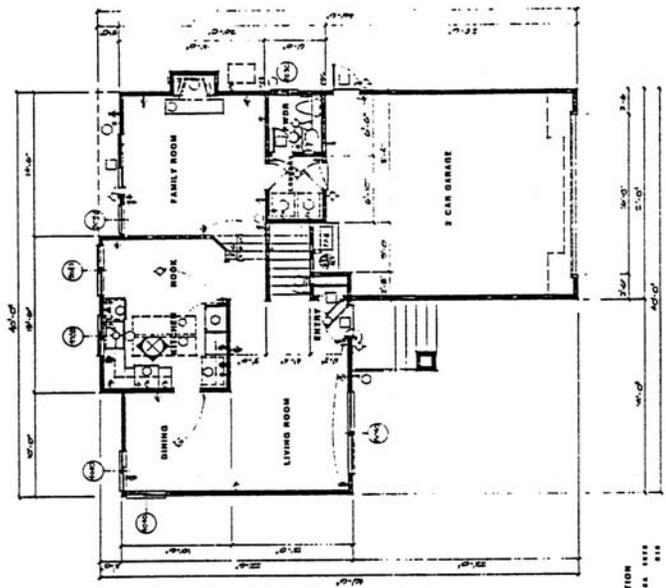


TABLETATION
 11/11/88
 11/11/88

FLOOR PLAN - PLAN 1



DATE	10/10/00
BY	JK
CHECKED	JK
SCALE	AS SHOWN
PROJECT	CONCEPTUAL HOUSE PLAN 2
REVISIONS	



TABULATION
 SQUARE FEET
 GARAGE 114

CONCEPTUAL HOUSE PLAN 2
EXHIBIT 9

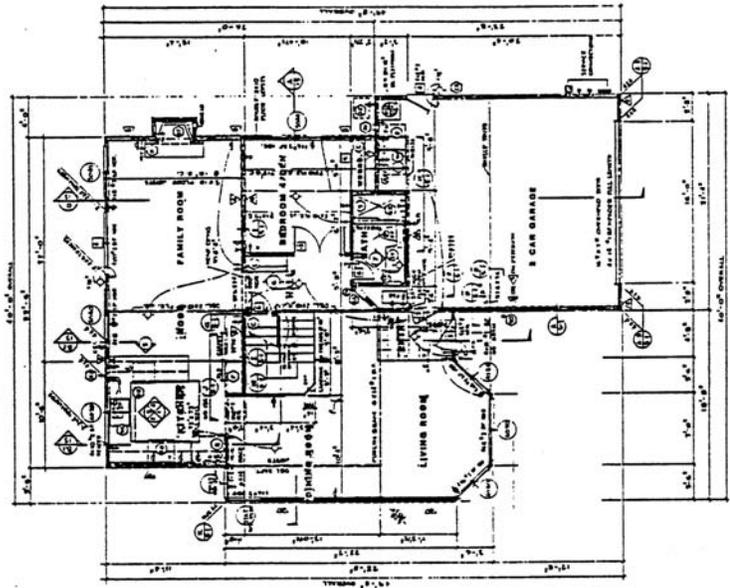
FIRST FLOOR PLAN - PLAN 2

SECOND FLOOR

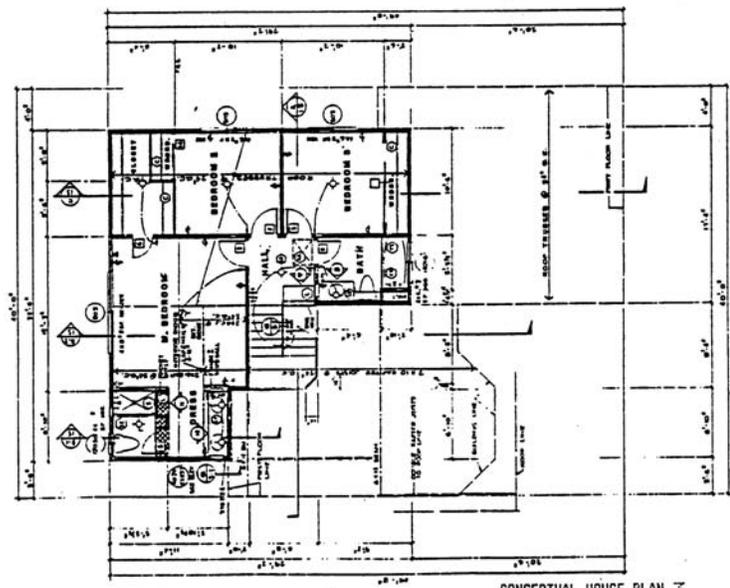


CONCEPTUAL HOUSE PLAN 3
 EXHIBIT 9

DATE	17
SCALE	1/8" = 1'-0"
NO.	100



FIRST FLOOR PLAN - PLAN 3



SECOND FLOOR

EXTERIOR ELEVATIONS AND ROOF PLAN

COVINGTON HOMES

8401 EAST ORANGEBORE (714) 878-0111
FULLERTON CALIFORNIA 92631

ROOF PLAN

SHED ROOF: 12/12 Pitch
GABLE ROOF: 12/12 Pitch
GARAGE ROOF: 12/12 Pitch

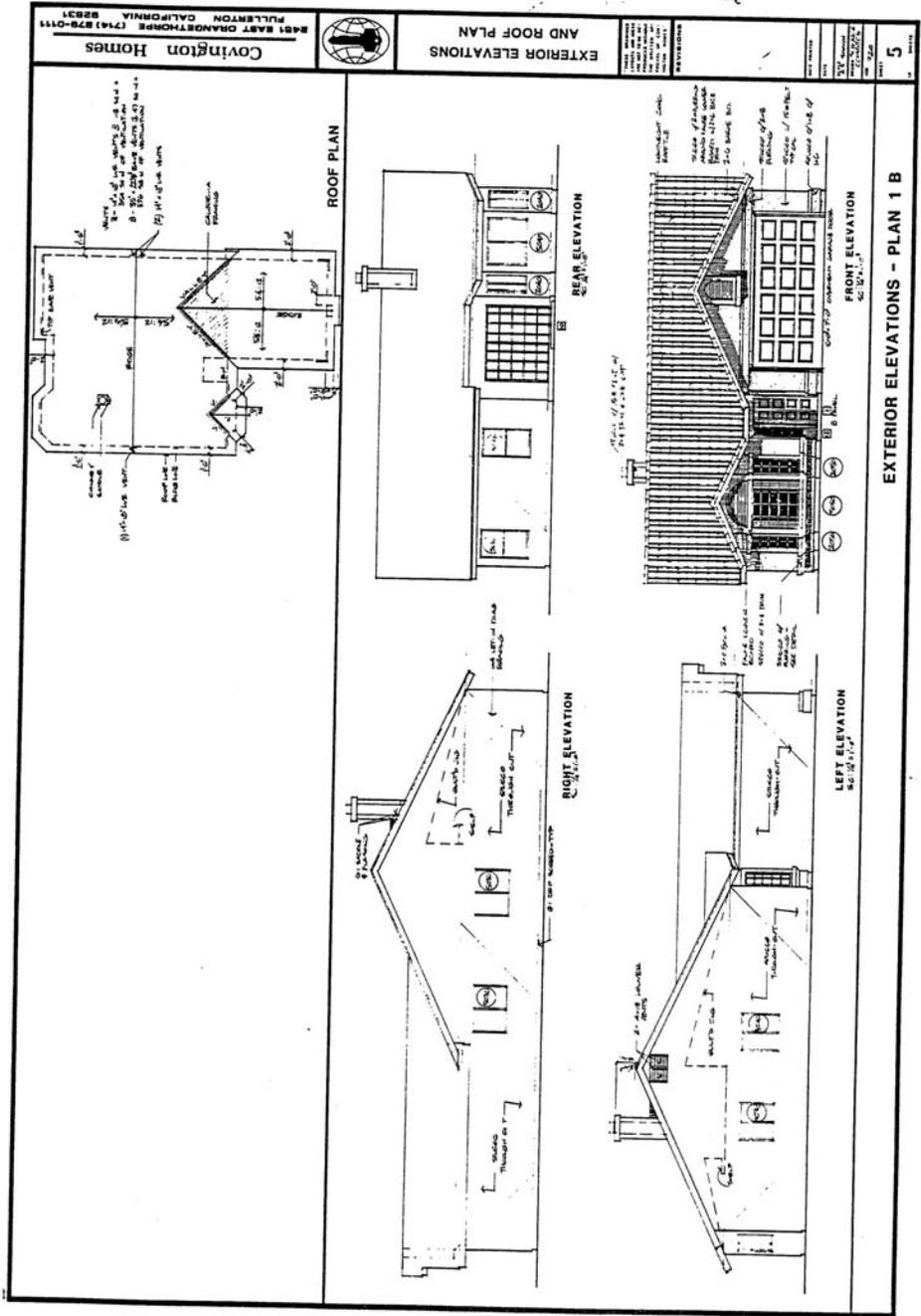
RIGHT ELEVATION

LEFT ELEVATION

REAR ELEVATION

FRONT ELEVATION

CONCEPTUAL ELEVATIONS 1A
EXHIBIT 10



Covington Homes
 8481 EAST CHANDLER (714) 878-0111
 FULLERTON CALIFORNIA 92631



EXTERIOR ELEVATIONS
 AND ROOF PLAN

SHEET NO. 5
 DATE: 11/11/11
 DRAWN BY: J. COVINGTON
 CHECKED BY: J. COVINGTON
 PROJECT NO. 1111111111

EXTERIOR ELEVATIONS - PLAN 1 B

CONCEPTUAL ELEVATIONS 1B
 EXHIBIT 10

COVINGTON Homes
 8481 EAST ORANGETHORPE (714) 878-0111
 FULLERTON CALIFORNIA 92631

EXTERIOR ELEVATIONS AND ROOF PLAN

ROOF PLAN

RIGHT ELEVATION

REAR ELEVATION

FRONT ELEVATION

LEFT ELEVATION

EXTERIOR ELEVATIONS - PLAN 2 A

EXTERIOR ELEVATIONS AND ROOF PLAN

Covington Homes
 2481 EAST ORANGEBOLE (714) 878-0111
 FULLERTON, CALIFORNIA 92631

ROOF PLAN

RIGHT ELEVATION

LEFT ELEVATION

REAR ELEVATION

FRONT ELEVATION

EXTERIOR ELEVATIONS AND ROOF PLAN

EXTERIOR ELEVATIONS - PLAN 2 C

ROOF PLAN

REAR ELEVATION

FRONT ELEVATION

RIGHT ELEVATION

LEFT ELEVATION

COVINGTON Homes
 2401 EAST DRAUGHTHORPE (774) 878-0111
 FULLERTON CALIFORNIA 92631

SHEET NO. 202
 PROJECT NO. 202
 DATE 08/20/14

CONCEPTUAL ELEVATIONS 2C
 EXHIBIT 10

1/4

EXTERIOR ELEVATIONS - PLAN 2 D

EXTERIOR ELEVATIONS AND ROOF PLAN

Covington Homes
 5481 EAST ORANGETHORPE (714) 878-0111
 FULLERTON CALIFORNIA 92631

ROOF PLAN

REAR ELEVATION

RIGHT ELEVATION

FRONT ELEVATION

LEFT ELEVATION

CONCEPTUAL ELEVATIONS 2D
EXHIBIT 10

13 SHEET NO.	EXTERIOR ELEVATIONS — PLAN 3 A	<p> ROOF PLAN 1/4" = 1'-0" 1/8" = 1'-0" 1/16" = 1'-0" 1/32" = 1'-0" 1/64" = 1'-0" 1/128" = 1'-0" 1/256" = 1'-0" 1/512" = 1'-0" 1/1024" = 1'-0" 1/2048" = 1'-0" 1/4096" = 1'-0" 1/8192" = 1'-0" 1/16384" = 1'-0" 1/32768" = 1'-0" 1/65536" = 1'-0" 1/131072" = 1'-0" 1/262144" = 1'-0" 1/524288" = 1'-0" 1/1048576" = 1'-0" 1/2097152" = 1'-0" 1/4194304" = 1'-0" 1/8388608" = 1'-0" 1/16777216" = 1'-0" 1/33554432" = 1'-0" 1/67108864" = 1'-0" 1/134217728" = 1'-0" 1/268435456" = 1'-0" 1/536870912" = 1'-0" 1/1073741824" = 1'-0" 1/2147483648" = 1'-0" 1/4294967296" = 1'-0" 1/8589934592" = 1'-0" 1/17179869184" = 1'-0" 1/34359738368" = 1'-0" 1/68719476736" = 1'-0" 1/137438953472" = 1'-0" 1/274877906944" = 1'-0" 1/549755813888" = 1'-0" 1/1099511627776" = 1'-0" 1/2199023255552" = 1'-0" 1/4398046511104" = 1'-0" 1/8796093022208" = 1'-0" 1/17592186044416" = 1'-0" 1/35184372088832" = 1'-0" 1/70368744177664" = 1'-0" 1/140737488355328" = 1'-0" 1/281474976710656" = 1'-0" 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EXTERIOR ELEVATIONS AND ROOF PLAN

**CONCEPTUAL ELEVATIONS 3B
EXHIBIT 10**

FRONT ELEVATION

REAR ELEVATION

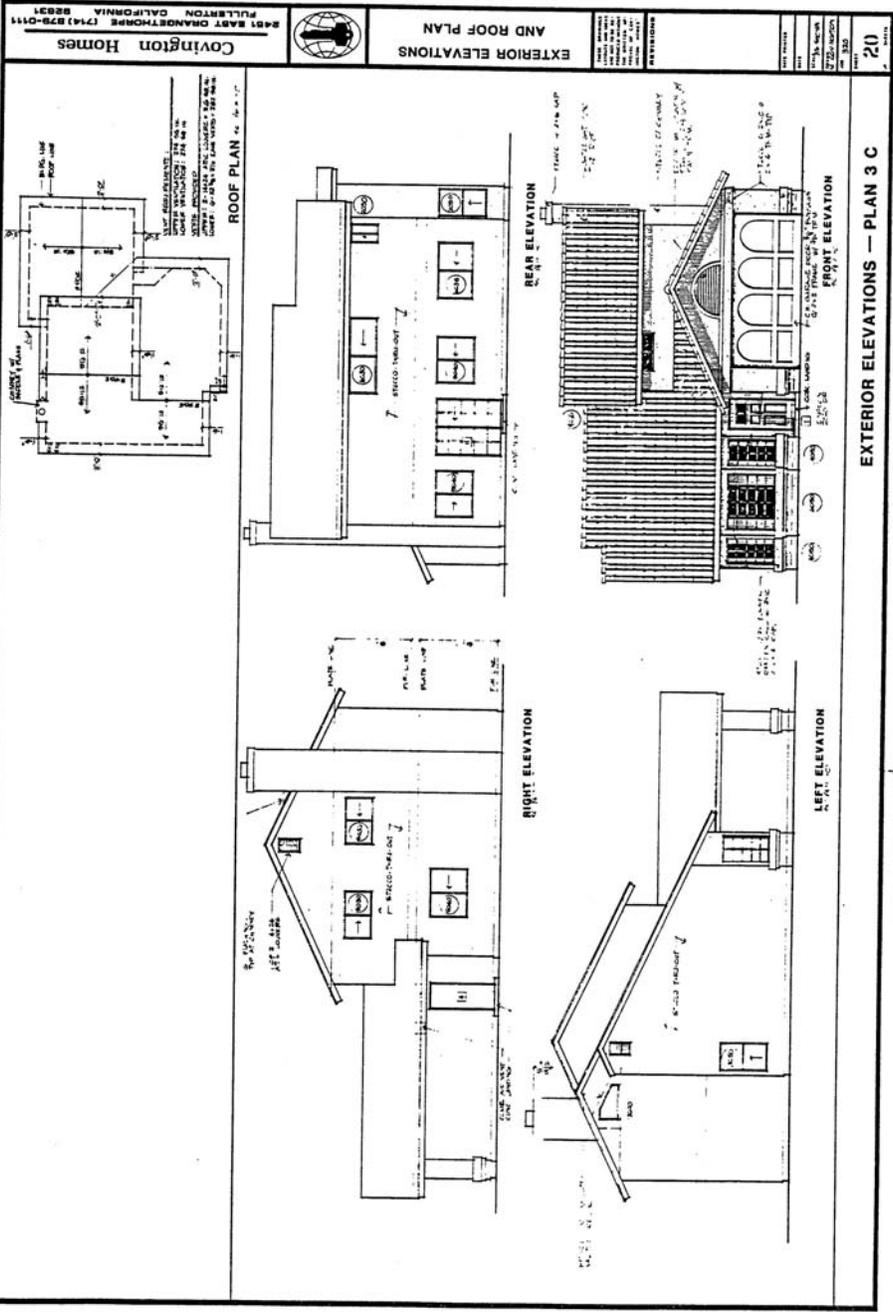
LEFT ELEVATION

RIGHT ELEVATION

ROOF PLAN

19

COVINGTON Homes
 8481 EAST CHANDLER AVE
 FULLERTON, CALIFORNIA 92631
 (714) 878-0111

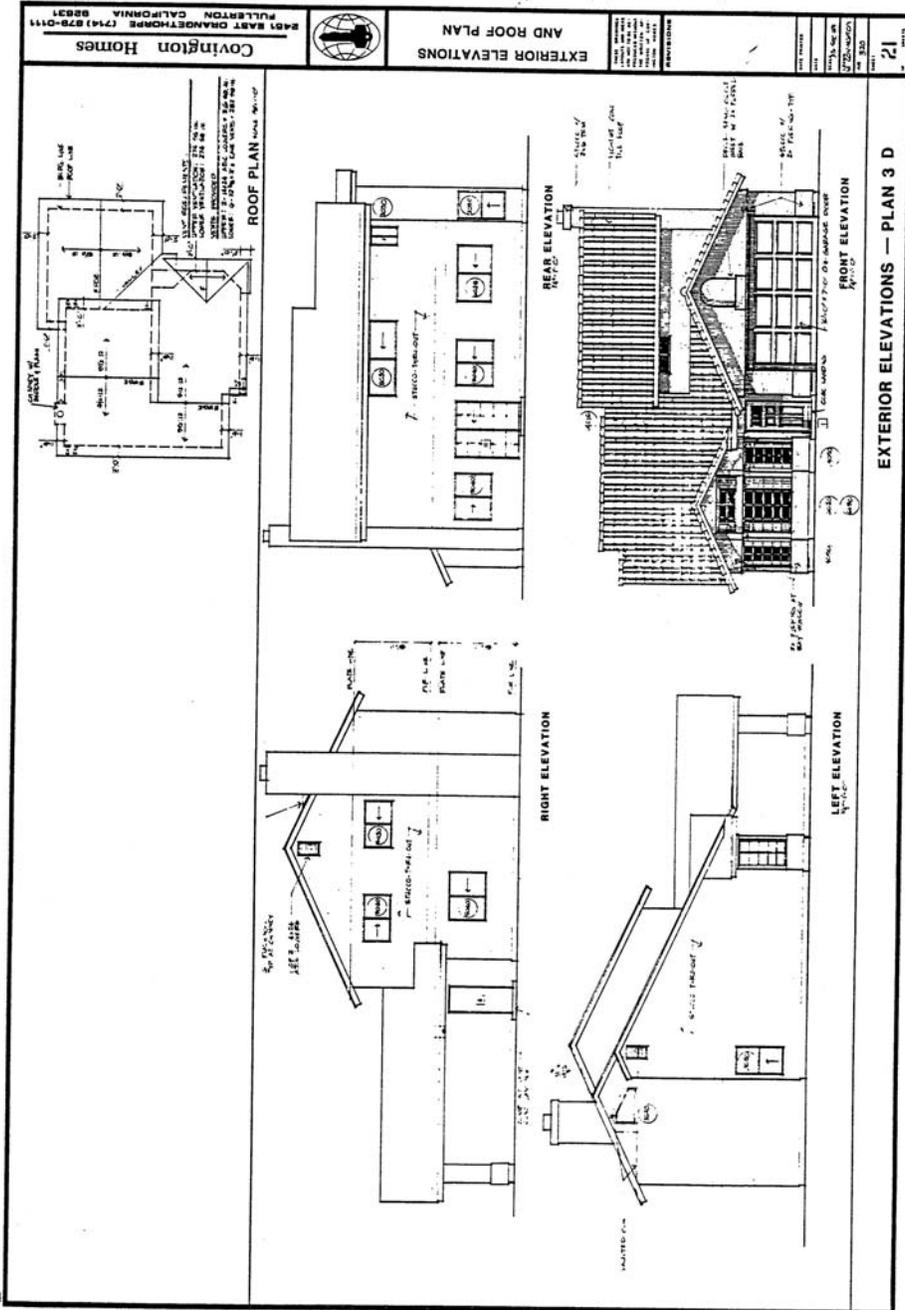


Covington Homes
 8831 EAST CHANDLER AVE
 FULLERTON, CALIFORNIA 92731
 (714) 878-0111



EXTERIOR ELEVATIONS AND ROOF PLAN

DATE	20
PROJECT	20
SCALE	1/4" = 1'-0"
DESIGNER	
CHECKER	
DATE	

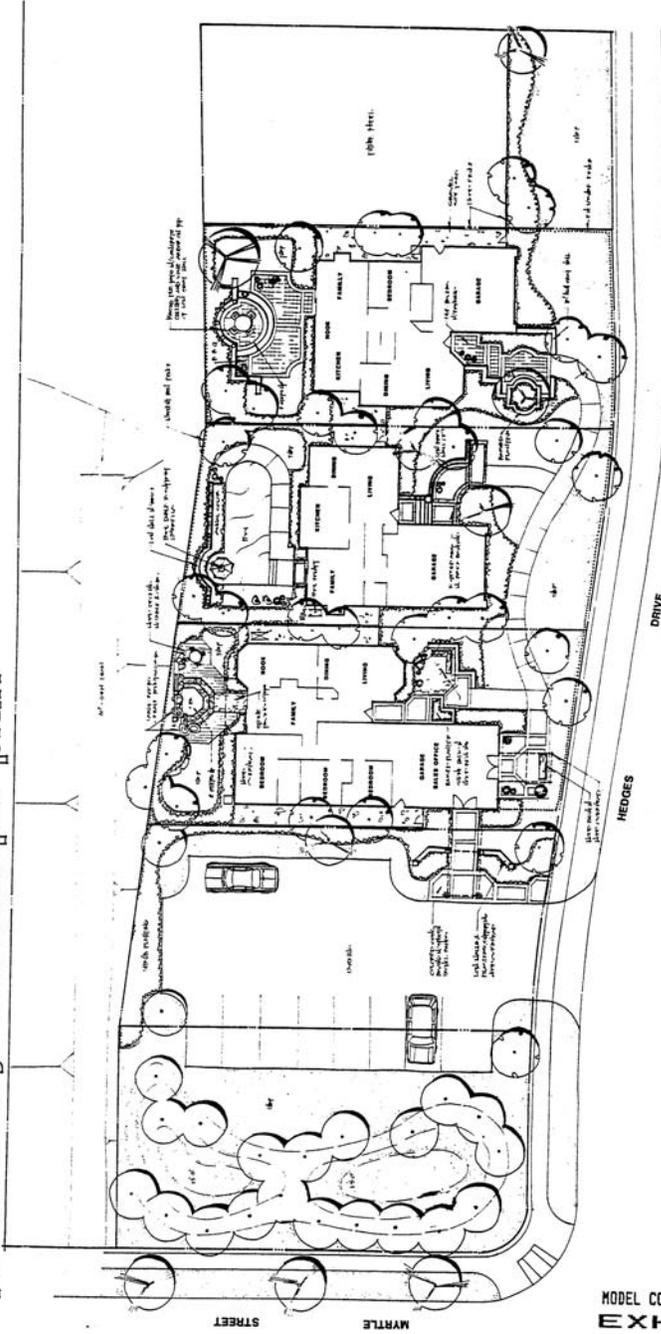


CONCEPTUAL ELEVATIONS 3D
 EXHIBIT 10

1. 1/2" = 1'-0"
 2. 1/4" = 1'-0"
 3. 1/8" = 1'-0"
 4. 1/16" = 1'-0"
 5. 1/32" = 1'-0"
 6. 1/64" = 1'-0"
 7. 1/128" = 1'-0"
 8. 1/256" = 1'-0"
 9. 1/512" = 1'-0"
 10. 1/1024" = 1'-0"
 11. 1/2048" = 1'-0"
 12. 1/4096" = 1'-0"
 13. 1/8192" = 1'-0"
 14. 1/16384" = 1'-0"
 15. 1/32768" = 1'-0"
 16. 1/65536" = 1'-0"
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 18. 1/262144" = 1'-0"
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 20. 1/1048576" = 1'-0"
 21. 1/2097152" = 1'-0"
 22. 1/4194304" = 1'-0"
 23. 1/8388608" = 1'-0"
 24. 1/16777216" = 1'-0"
 25. 1/33554432" = 1'-0"
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HILLCREST POINTE

preliminary landscape plan



MODEL COMPLEX PLAN
EXHIBIT 12

COVINGTON HOMES
375 SOUTH CACTUS AVENUE
IRVINE, CALIFORNIA 92376

model complex
CORONA, CALIFORNIA



1/8" = 1'-0"

2-8-88