

EMPIRE HOMES SPECIFIC PLAN

SP-90-4

**As amended by
SPA-92-6
SPA-93-2**

**City of Corona
DPR-89-242
DPR-89-1 90**

Prepared for:

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TABLE OF CONTENTS

	<u>Page</u>
I. INTRODUCTION	1
A. Purpose and Objectives	1
B. Authority and Scope	1
C. Location	1
D. Existing Conditions	2
II. PLAN CONSISTENCY	8
A. Conformance with State Government Code	8
B. Conformance with City of Corona General Plan	9
C. Conformance with the South Corona Community Facilities Plan	12
D. Conformance with the Specific Plan Ordinance	15
III. PLAN DESCRIPTION	17
A. Land Use Plan	17
B. Circulation Plan	22
C. Infrastructure Plan	29
D. Phasing Plan	38
IV. DEVELOPMENT STANDARDS	43
A. Residential Development Standards	43
V. DESIGN GUIDELINES	54
A. Architectural Design Guidelines	54
B. Landscape Design Guidelines	59
VI. IMPLEMENTATION	72
A. Transfer of Dwelling Units	72
B. Specific Plan Amendments	73
C. Variances	73
D. Precise Plan	73
E. Infrastructure Plan and Phasing Adjustments	74
F. Facilities Financing Program	74
VII. APPENDICES	75
A. Off-Site and On-Site Infrastructure Improvements	75
B. South Corona Application Addendum	82
C. Adopting Resolution and Conditions of Approval	94

LIST OF EXHIBITS

	<u>Page</u>
1. Location Map	5
2. Vicinity Map	6
3. Surrounding and Existing Land Uses	7
4. South Corona Community Facilities Plan/Land Use Plan	16
5. Land Use Plan	18
6. Circulation Plan	24
7. Typical Roadway Cross-Sections	25-28
8. Sewer Plan	35
9. Water Plan	36
10. Storm Drain Plan	37
11. Phasing Plan	42
12. Typical Building Envelopes (Single-Family 8,400 sq. ft. Lots)	46
13. Typical Building Envelopes (Single-Family 7,200 sq. ft. Lots)	50
14. Conceptual Landscape Plan	63
15. Conceptual Entry Feature	64
16. Streetscape Sections	65-67
17. Theme Wall	68

I. INTRODUCTION

A. PURPOSE AND OBJECTIVES

The Empire Homes Specific Plan represents a comprehensive approach to the planning of residential development in South Corona. This Specific Plan has been prepared in conformance with the policies, uses and regulations established in the General Plan. The Specific Plan also conforms to the South Corona Community Facilities Plan.

The following objectives directed the development of the Empire Homes Specific Plan:

1. To implement the policies, standards and regulations set forth in the South Corona Community Facilities Plan and the City of Corona General Plan.
2. To create a high quality development that is compatible with adjacent existing and proposed land uses.
3. To identify the on-site and off-site infrastructure necessary to ensure that the project does not result in negative impacts to existing facilities within South Corona.
4. To provide a safe, convenient and logical circulation system.
5. To create design standards that reflects innovative architectural solutions.

B. AUTHORITY AND SCOPE

The Empire Homes Specific Plan encompasses a total of 142.8 acres in South Corona, owned by Empire Homes.

The Specific Plan is authorized by the City of Corona General Plan and the South Corona Community Facilities Plan. State Government Code Section 65450 et seq. authorizes the adoption of a Specific Plan.

C. LOCATION

The Empire Homes Specific Plan is located approximately one half mile west of Interstate 15 and three miles south of State Highway 91 within the City of Corona. Refer to Exhibit 1.

The Specific Plan Area includes 142.8 acres of land in the South Corona area. The Empire Homes Specific Plan property is bounded by Pacific Avenue and Foothill Parkway on the north, Upper Drive to the south and Garretson Avenue to the west. The easterly boundary is approximately 1,200 feet west of Lester Avenue. Refer to Exhibit 2. There is a twenty-acre parcel between Upper Drive and Valencia Drive, approximately 2,400 feet east of Garretson Avenue which is not included. The two major roads currently providing access to the site are Garretson Avenue, a two-lane paved road, and Lester, also a two-lane paved road.

The project is located primarily within village 3 as identified in the South Corona Community Facilities Plan.

D. EXISTING CONDITIONS

The Specific Plan for Empire Homes is designed to be consistent with the General Plan of the City and the Community Facilities Plan established by the City Council to help guide development in South Corona. The Plan is also designed to be compatible with the local environmental conditions of the property, the surrounding pattern of land uses, and the current and future demand for housing in the market place. This section of the Specific Plan describes the current topography, archaeology, biology, geology and land uses for the site.

1. Topography

The property's existing topography is characterized by a gentle and consistent grade (approximately 5%) that falls from Upper Drive to Pacific Avenue. The Empire property lies on an alluvial fan which protrudes from the base of the Santa Ana Mountains. No natural drainage course exists within the boundaries of the property. Concrete lined irrigation ditches run alongside the south side of Upper Drive, and along the north side of Valencia Drive.

2. Archaeological Conditions

The archaeological concerns were addressed in an intensive survey of the project area. The survey concluded that the entire site was impacted by either road construction or citrus production. Surface visibility at the time of the survey was good; less than 10% of the ground surface was covered with grass and small weeds. The field reconnaissance yielded no evidence of historic or prehistoric remains (Archaeological Assessment of the Empire Homes Site, LSA Project #ENH901, January 18, 1990).

3. Biological Conditions

The biological conditions of the site were evaluated by a survey team on two different occasions. The Specific Plan Area was determined to have no native habitat due to the fact citrus groves cover the entire site. The main impact of the project to the vegetation present on the site will be a loss of 142.8 acres of citrus orchards. As these are man—created habitats which do not include any wetlands, this impact is not significant and does not require mitigation (Empire Homes Biological Assessment, LSA Project #EMH901, January 23, 1990).

4. Geology and Soils

The subject site was determined to be lying in a geomorphic province known as the Peninsular Ranges. Locally, this site is underlain by alluvial deposits derived from the igneous and metamorphic rock complex of the Santa Ana Mountains. A total of 10 exploratory trenches and 11 borings were excavated and drilled respectively at the site in order to evaluate the geotechnical conditions of the subsurface soils. These trenches and borings revealed the site to be underlain by older alluvial deposits generally comprised of interbedded medium brown to dark brown silty sand, clayey sand and sandy gravel (Historical and Site Reconnaissance, Leighton and Associates Project #689 0356- 02, May 16, 1989).

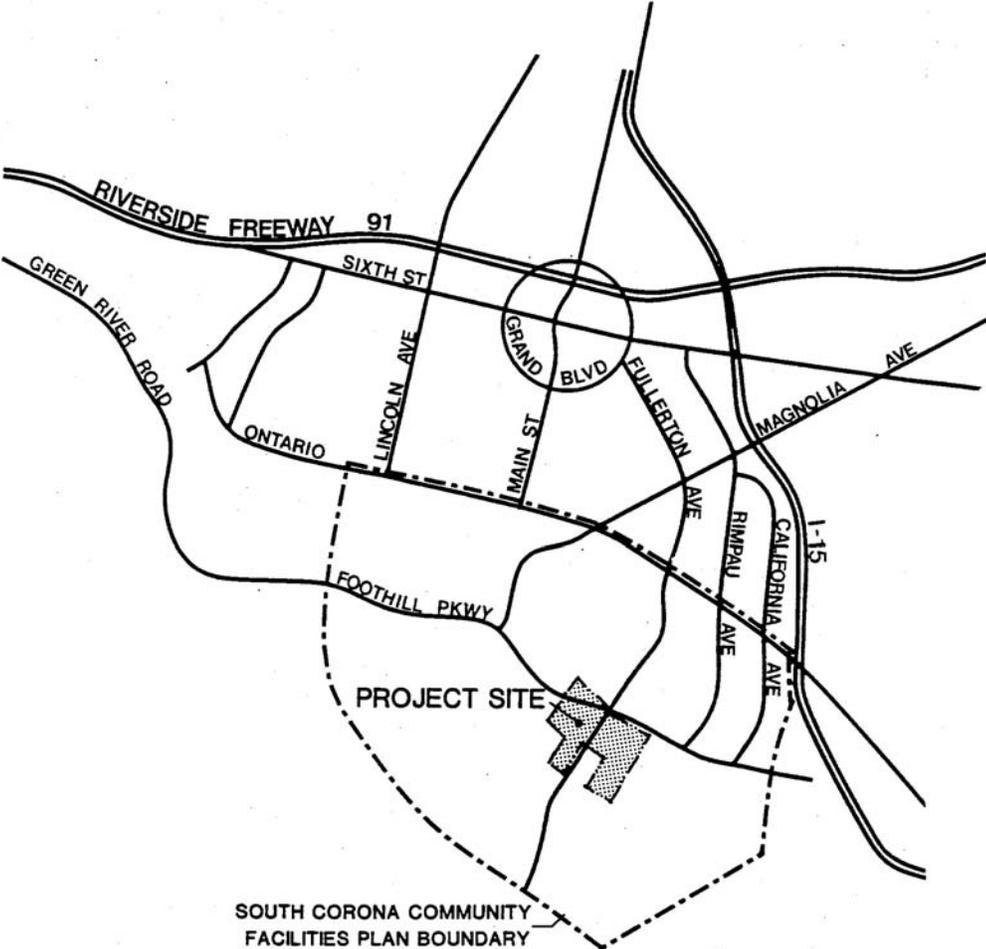
The soil analysis included 26 individual core samples taken from the field. The samples were sent for laboratory analysis, for organochlorine pesticides (including DDT/using EPA Test Method 8080), and organophosphorous pesticides (using EPA Test Method 8150). The results showed that all areas of the site were well below acceptable EPA thresholds (Historical Review and Site Reconnaissance, Leighton and Associates Project #6890356-02, May 16, 1989)

5. Existing Land Uses

Existing land uses for the Specific Plan Area are agricultural, as shown on Exhibit 3. The entire site is currently under citrus cultivation. There are two storage sheds located on the site which contain farming equipment. The properties to the east, south and west are also under citrus cultivation. There is an existing development to the northwest, called “Sonrisa.” This neighborhood is located between Chase and Pacific and is depicted on Exhibit 3. The Specific Plan Area also contains a 12.5 acre agricultural preserve, #AG-71-2.

The Corona City Council held a duly noticed public hearing on October 18, 1989, to consider the partial cancellation of an agricultural preserve contract, enumerated AG-71-2, and following said public hearing, did approve, by Resolution #89-126, the tentative cancellation of Agricultural Preserve Contract #71-2.

Location Map



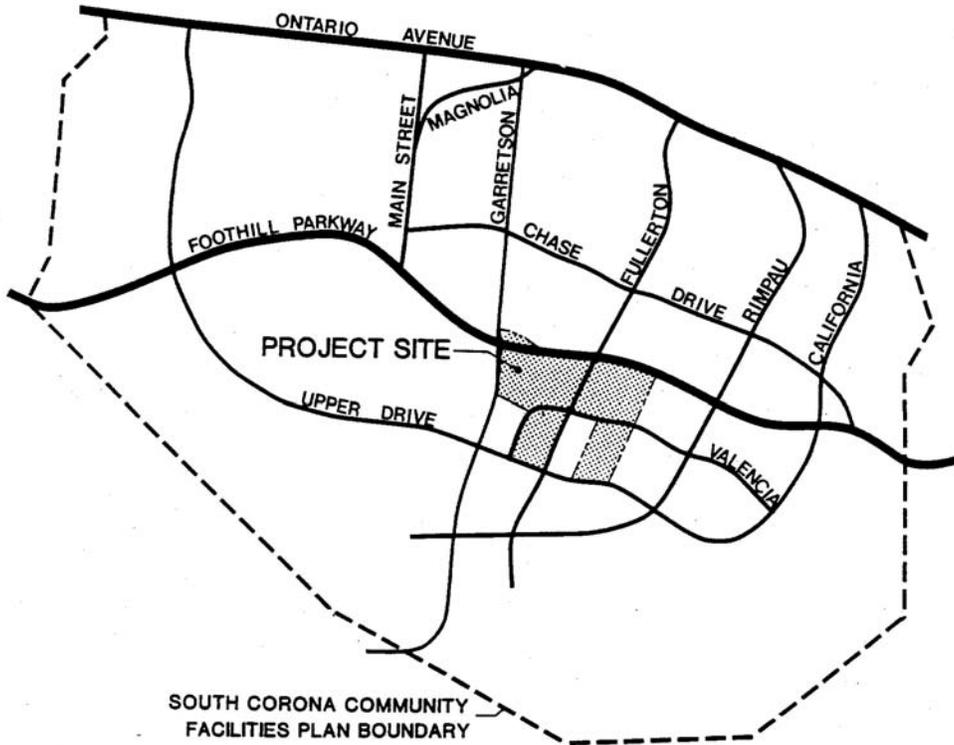
Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



Exhibit 1

Vicinity Map



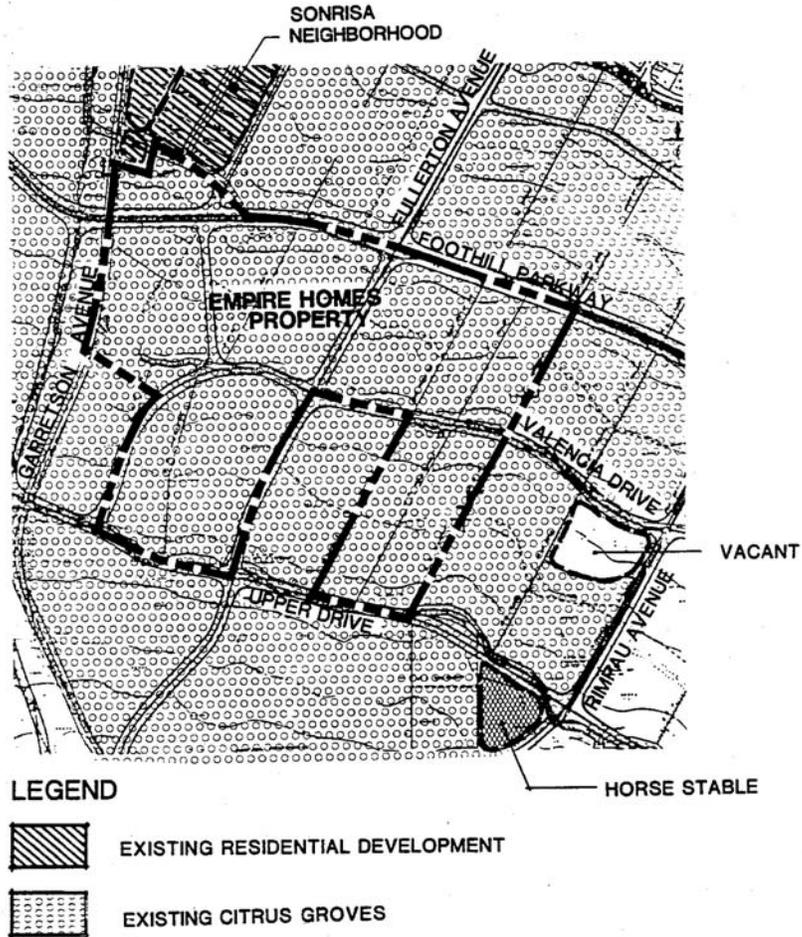
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Exhibit 2

Surrounding and Existing Land Uses



PROPOSED LAND USES FOR ADJACENT AREAS IS PROVIDED ON EXHIBIT 5.

Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



Exhibit 3

II. PLAN CONSISTENCY

The purpose of this section of the Specific Plan is to describe the Plan's consistency with applicable provisions of state law, the Corona General Plan and the South Corona Community Facilities Plan.

A. CONFORMANCE WITH STATE GOVERNMENT CODE

California Government Code Section 65451 identifies the following as requirements that should be included and defined in a Specific Plan.

1. A Specific Plan shall include a text and a diagram or diagrams specifying all of the following in detail:
 - a. The distribution, location and extent of the uses of land, including open space, within the area covered by the Plan.
 - b. The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the area covered by the Plan and needed to support the land uses described in the Plan.
 - c. Standards and criteria by which development will proceed, and standards for the conservation, development and utilization of natural resources, where applicable.
 - d. A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out paragraphs a through c above.
2. The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.

The Empire Homes Specific Plan demonstrates conformance with State Government Code requirements by providing the following elements:

- The Specific Plan text details the uses and densities of each land use and provides a Land Use Plan exhibit and table illustrating the location, distribution and extent of project uses.

- The Specific Plan describes in detail the required public facilities and their location within the project area.
- The Specific Plan describes development standards for each land use designation within the plan area.
- A detailed program of implementation measures has been provided in Section VI of the Specific Plan text.
- The relationship of this Specific Plan to the Corona General Plan is discussed within this section. The Specific Plan addresses how the Plan meets the goals of the General Plan.

B. CONFORMANCE WITH CITY OF CORONA GENERAL PLAN

The Corona General Plan was amended for the South Corona area in July of 1986 by GPA-85-6. The Corona City Council authorized the preparation of the South Corona Community Facilities Plan in December of 1986 to implement the GPA-85-6. The Community Facilities Plan was adopted in July 1988 by the Corona City Council. The Community Facilities Plan has been found to be in conformance with the City of Corona General Plan by the Corona City Council, therefore, conformance with the Community Facilities Plan results in consistency with the Corona General Plan as well.

The Corona General Plan includes goals for each of the various elements. The General Plan goals that relate to the Empire Homes Specific Plan are listed below, along with a description indicating how the Specific Plan meets these goals.

1. Land Use Element

- a. General Plan Goal: To develop a land use pattern which meets the basic needs of Corona residents for essential services, working and living areas, and areas for pursuit of leisure time and activities.

Specific Plan Conformance: The Empire Homes Specific Plan provides land uses that include a variety of single-family residential uses and 6 acres of a future 13-acre neighborhood park. The land use pattern has been designated to conform with the Community Facilities Plan and with surrounding land uses, both existing and planned.

- b. General Plan Goal: To economize on the costs of municipal facilities and services and the extension of these services by phasing residential development in a manner consistent with availability for essential services.

Specific Plan Conformance: The Empire Homes Specific Plan includes a phasing plan that proposes a development schedule for the project which is compatible with the availability of existing services and the proposed timing of services to be completed and anticipated by the South Corona Community Facilities Plan.

2. Circulation Element

- a. General Plan Goal: To provide a safe and efficient system for movement of people and goods in the City of Corona through City actions and coordination of all agencies involved in development of circulation facilities in the Corona area.

Specific Plan Conformance: The Empire Homes Specific Plan proposes a circulation system that is based upon the Community Facilities Plan Circulation Plan. Independent traffic studies to evaluate on-site and off-site traffic considerations were included to ensure a safe and efficient circulation system for the project.

- b. General Plan Goal: To increase the mobility of residents through development of an adequate and balanced transportation system that includes automotive and non-automotive transportation considerations.

Specific Plan Conformance: The Specific Plan proposes an internal system of streets that will permit and encourage movement by bicycles or walking in addition to automobiles from residential areas to the park in the area. It implements a bicycle trail that links the neighborhoods with the neighborhood park

3. Housing Element

- a. General Plan Goals: To encourage development of housing to satisfy the shelter and home environment needs of existing and future Corona residents. To encourage provision of a variety of housing types, prices, ownership possibilities and locations.

Specific Plan Conformance: The Empire Homes Specific Plan provides a variety of housing opportunities that include traditional single-family detached residences and single-family detached condominiums. These housing types are proposed to provide ownership opportunities to variety households.

- b. General Plan Goal: to develop neighborhoods properly related to essential community services.

Specific Plan Conformance: the residential neighborhoods proposed within the Empire Homes Specific Plan are located in close proximity to a neighborhood park.

- c. General Plan Goal: to maintain high quality development standards for residential land development to ensure establishment of neighborhoods with lasting value.

Specific Plan Conformance: The desirability and vitality of the residential neighborhoods within the Empire Homes Specific Plan Area can be ensured by the provision for enhanced parkway landscaping, community theme walls, rich entry treatments, trails to the parks, and architectural guidelines. The Plan proposes circulation patterns that enhance and support the intended uses and discourage traffic through individual neighborhoods, creating secure enclaves.

4. Open Space Element

- a. General Plan Goals: To achieve a balanced distribution of open space to meet the needs of residents and contribute to logical development of the urban area. To create a public open space network that satisfies the active and passive needs of City residents.

Specific Plan Conformance: the Empire Homes Specific Plan provides 6 acres of a 13-acre neighborhood park. This facility is located within the Village Core area of Village 3, as identified by the Community Facilities Plan.

5. Community Design

- a. General Plan Goal: To develop a City that is visually attractive and effectively organized, and understandable both functionally and psychologically.

Specific Plan Conformance: The design guidelines outlined in the Specific Plan create an attractive and desirable community. A “sense of community” is created by the theme walls, rich entry features, and enhanced parkway landscaping. The proposed plan provides for the appropriate location and relationship of residential neighborhoods within the South Corona area. The landscaped parkways provide the opportunity for pedestrian or bicycle travel that is separated from the automobile traffic.

- b. General Plan Goal: to preserve and enhance the visual aspects of the City’s circulation system for scenic purposes.

Specific Plan Conformance: Streetscape standards have been included within the Specific Plan to provide enhanced parkways. These streetscapes feature the use of palms, eucalyptus and magnolia trees.

C. CONFORMANCE WITH THE SOUTH CORONA COMMUNITY FACILITIES PLAN

The South Corona Community Facilities Plan (CFP) functions as the master specific plan for the South Corona area. The Empire Homes Specific Plan must be determined to be consistent with the plans, standards and guidelines contained within the CFP. This section addresses and establishes the Specific Plan’s consistency with the CFP.

The CFP’s proposed land uses and densities for the Empire Homes property are illustrated on Exhibit 4. The CFP provides for low, low medium and medium density residential development as indicated on the exhibit; and permits a maximum of 643 dwelling units, while the Specific Plan proposes a maximum of 610 units. The Specific Plan incorporates the density transfer provisions as specified within the CFP.

To preserve and enhance the City’s circulation system for

1. Community Design Goals

The Community Facilities Plan has established five design goals for the South Corona area, four of which relate directly to this Specific Plan. The following describes the CFP goals and how the Empire Homes Specific Plan meets them.

a. Character

(1) CFP Goal: The natural and man-made environment of South Corona shall be designed and coordinated to establish the identity of the City while also enhancing the overall character of the South Corona community and the individual character of the four villages of which it is comprised; to improve the image and appearance and to promote the functional efficiency of the City.

Specific Plan Response: The Empire Homes Specific Plan provides a well-coordinated development proposal for a substantial portion of the Village Core area for village 3.

b. Land Use

(1) CFP Goal: Land use shall be developed and managed with respect to location, ownership, timing and density intensity of development in order to be consistent with the capabilities of the City to provide services. Land use shall be consistent with the existing uses and ownership through compatibility with adjacent use, smooth transitioning and appropriate buffers when required. A land use pattern shall be developed which meets the basic needs of Corona residents for essential services, working and living areas, and areas for pursuit of leisure time activities.

Specific Plan Response: A phasing plan is included within the Specific Plan that provides a commitment for participation in the financing required to extend necessary City services and infrastructure to the development. The Specific Plan includes plans for storm drain, sewer, water and streets to ensure adequacy of these public facilities for this project and in relation to proposed development in this part of South Corona. The land uses proposed provide compatibility with adjacent uses and offer smooth density transitions. The neighborhood park provided within the Empire Homes Specific Plan serves to meet the recreational needs of this project and the community.

c. Circulation

(1) CFP Goal: The organization of land uses within South Corona shall provide for efficient use of the private automobile, expand transit routes while concurrently supporting provision of a system of recreational trails including pedestrian, bikeways and equestrian trails.

Specific Plan Response: The circulation system for the Specific Plan has been designed to minimize traffic through residential neighborhoods. The uses have been located to provide an efficient and logical circulation system. The pedestrian and bike trails provided within the expanded landscape parkways within the Village Core area link the proposed residential neighborhoods to the neighborhood park.

d. Recreation

(1) CFP Goal: Recreational facilities shall be provided to meet the needs of all segments of the community for recreational activities and social interaction.

Specific Plan Response: Six acres of a thirteen-acre neighborhood park are provided within the Empire Homes Specific Plan. The park is located within the Village Core area which is consistent with CFP recommendations. This park is a facility that will serve the entire community.

2. Policies

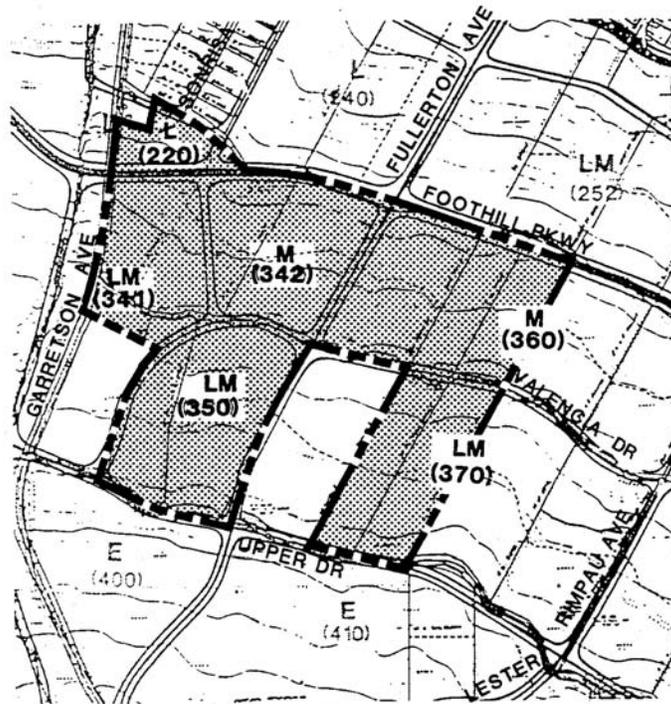
The South Corona Community Facilities Plan provides numerous policies that guide proposed development in this area. The Empire Homes Specific Plan has been designed to implement these policies. The Plan Description, Development Standards, Design Guidelines, and Implementation sections reinforce the CFP policies.

D. CONFORMANCE WITH THE SPECIFIC PLAN ORDINANCE

The outline, format and contents of this Specific Plan are designed to conform to Corona's Specific Plan Ordinance, Chapter 17.53 of the Corona Municipal Code.

South Corona Community Facilities Plan

Land Use Plan



CFP P/A	CFP LAND USE	ADJUSTED GROSS ACRES	CFP TARGET DENSITY	MAXIMUM D/U PER CFP	PROPOSED UNITS
(220)	LOW 0-6 D/U	5.4	2.96	16	5
(341)	LOW-MED 3-8 D/U	20.6	3.90	80	121
(342)	MEDIUM 6-15 D/U	18.1	7.88	143	107
(350)	LOW-MED 3-8 D/U	29.9	3.90	117	105
(360)	MEDIUM 6-15 D/U	25.9	7.88	204	195
(360)	PARK	6.0	---	---	---
(370)	LOW-MED 3-8 D/U	21.3	3.90	83	77
TOTAL		114.2		643	610

Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



John L. Chapman
LAND PLANNING

Exhibit 4

III. PLAN DESCRIPTION

Empire Homes Specific Plan represents a planned residential development that provides two distinctly different types of housing opportunity to the City of Corona. The plan also provides parklands, trails and supporting community facilities. The plan implements the South Corona Community Facilities Plan and is designed to be a desirable and attractive residential community.

A. LAND USE PLAN

The Land Use Plan for Empire Homes describes the density, location and uses within each planning area. The Land Use Plan, which is divided into seven planning areas, is depicted in Exhibit 5. The proposed plan includes three residential land uses and a neighborhood park.

The South Corona Community Facilities Plan locates the Village Core area of Village 3 south of Foothill Parkway and north of Valencia Drive. The Empire Homes Specific Plan provides single-family condominium homes within the core area along with 6 acres of a future 13-acre neighborhood park.

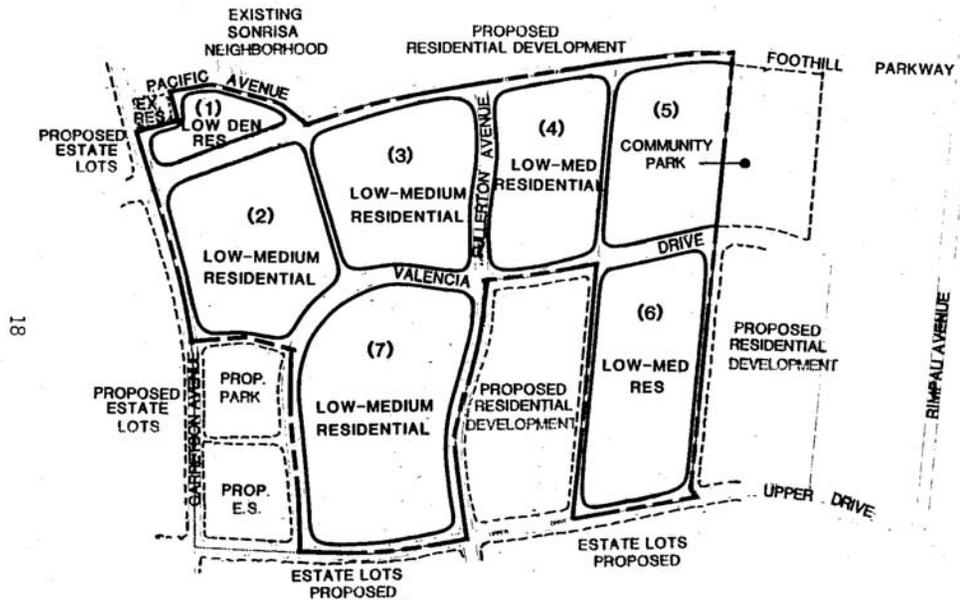
The residential planning areas 6 and 7, south of the core area between Valencia Drive and Upper Drive, are designed as low medium density. Valencia Drive serves as a buffer between the differing residential densities within the project.

Planning Area 1, the residential area located north of Foothill Parkway, south of Pacific Avenue, is designated as low density. This respects the adjacent existing development on Sonrisa Avenue.

The South Corona Community Facilities Plan permits a maximum of 643 dwelling units within the Empire Homes Specific Plan area. The Specific Plan proposes a total of 610 dwelling units. The statistical summary included as Table A contains the adjusted gross acres, the proposed land use designation, density, and the number of units proposed by the Specific Plan. The total number of units proposed incorporates the transfer of density from Planning Areas 1 and 3, into Planning Area 2.

The Community Facilities Plan allows a target density of 3.90 du/ac for Planning Area 2. This Specific Plan proposes an overall density of 5.87 du/ac, which is within the density range allowed by the low medium land use designation of 3-8 du/ac. The CFP target density for Planning Areas 3 and 4 is 7.88 du/ac. The Specific Plan proposes densities of 5.91 and

Land Use Plan



(3) Indicates Specific Plan Planning Areas

Refer to Table A for Land Use Tabulations

Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



Exhibit 5

**TABLE A
LAND USE TABULATION**

Planning Area	Adjusted Gross Acres	Proposed Land Use Designation	Proposed Use/Lot Size	Proposed Density	Proposed Units
1	5.4	L 0-6 DU/AC	Single Family 8,400 sq. ft. (min.)	2.96	16
2	20.6	LM 3-8 DU/AC	Single Family Condominium	5.87	121
3	18.1	LM 3-8 DU/AC	Single Family Condominium	5.91	107
4	18.9	LM 3-8 DU/AC	Single Family Condominium	5.60	106
5	13.0	Park	Community Park	--	--
6	21.3	LM 3-8 DU/AC	Single Family 7,200 sq. ft.	3.52	75
7	29.9	LM 3-8 DU/AC	Single Family 7,200 sq. ft.	3.51	105
Roads	15.6				
Total	142.8				530

Note: Density from Planning Areas 3 and 4 is being transferred into Planning Area 2.

7.90 respectively for these planning areas. The CFP allows 48 more dwelling units than the Specific Plan proposes for these two Planning Areas. Forty-one of these units are being transferred into Planning Area 2.

The 643 units allowed by the Community Facilities Plan results in an overall density of 5.06. The Specific Plan proposes an overall density of 4.80 du/ac.

The number of units within the planning areas may also be adjusted to accommodate the future transfer of units. The transfer procedure is described within the implementation portion of this document, Section VI-A. The maximum number of dwellings allowed within the Empire Homes Specific Plan Area shall not exceed 610.

The Empire Homes Specific Plan proposes three residential categories within the two land use designations, and a park. A description of each use follows.

1. Residential Land Use Designations

a. Low Density Residential (0-6 DU/AC)

(1) Single-Family Detached - 8,400: This category consists of single-family lots having a minimum lot size of 8,400 square feet. This use occurs in Planning Area 1, which is the only area located adjacent to existing development. The minimum lot size is to be 8,400 square feet. A maximum of twenty-five percent (25%) of the lots shall be the minimum size with the remaining lots ranging from 9,000 to 10,000 square feet in size. The intent is for this use to provide a transition between the existing development and the Village Core identified within the CFP.

b. Low-Medium Density Residential (3-8 DU/AC)

(1) Single-Family Detached - 7,200: This classification consists of single-family lots with a minimum lot size of 7,200 square feet. This use occurs within Planning Areas having a low-medium density designation. These Planning Areas are primarily located south of Valencia Drive and provide a transition between the higher density uses north of Valencia and the residential estates south of Upper Drive. Planning Areas 6 and 7 are designated as Single-Family Detached - 7,200.

(2)Single-Family Condominium: This classification is intended for a detached product at a density of five to eight dwelling units per acre. Private streets, community landscaping and other amenities typically associated with condominium ownership are permitted within the Single-Family Condominium designation. Planning Areas 2, 3 and 4 are designated as Single-Family Condominium. The development regulations for this use have been designed with flexibility to encourage an innovative and creative housing alternative.

2. Park Site

- a. Neighborhood Park: A 6-acre site is proposed for a neighborhood park within Planning Area 5. This site will be combined with additional acreage within Chase Ranch, to the east. The combined sites provide for a 13-acre neighborhood park. This neighborhood park is located within the Village Core area of village 3. The park is intended to meet the neighborhood's recreational needs by providing items such as a tot lot, informal open space/play area, picnic tables and barbeques, and basketball courts. This park is located so that it benefits from the bicycle access provided by the Class I trail along the north side of Valencia Drive.

Per Quimby Act requirement, subject development is to dedicate 6.0 acres of parkland to the City. A fee in-lieu of park land dedication shall be paid in conjunction with any builder map recorded in Planning Area 4 for an additional eighty dwelling units.

- b. Park Improvement Fee: Park improvement fees are due when building permits are issued. The fees will be based upon the most current fee charged as required by the South Corona Master Plan Fee Schedule.

B. CIRCULATION PLAN

The Circulation Plan provided within the Empire Homes Specific Plan creates a safe and efficient circulation system for this project.

The arterial and collector streets within the Empire Homes project include Foothill Parkway, Valencia Drive, Upper Drive, and Fullerton Avenue. These roadways, diagramed on Exhibit 6, will all be constructed according to the improvement standards stated within the Empire Homes Specific Plan and the South Corona Community Facilities Plan. Garretson Avenue, a local Street; has been included to diagram the cul-de-sacs that will occur on both sides of Foothill Parkway.

The circulation system described herein is in conformance with the Community Facilities Plan.

Residential streets within the planning areas containing larger lot single-family detached homes will be public. The streets within the single-family condominium planning areas will be private. The project benefits from enhanced streetscapes along the arterial highways and collector streets. Curvilinear street alignments will be incorporated within the residential neighborhoods to the greatest extent possible to provide interest while ensuring adequate safety.

1. Street Standards/Cross Sections

The streets within Empire Homes shall be constructed to the standards described herein and illustrated by the typical street cross-sections, Exhibits 7a through 7d.

- a. Divided Secondary Arterial: Two-lanes each direction, divided; 88' right-of-way; 14' median; emergency parking lanes. A 20' landscape lot occurs on both sides. Foothill Parkway shall comply with the B.S.I. Alignment Study.

-- Foothill Parkway

- b. Collector Streets: Two-lanes undivided; 68' right- of-way; emergency parking lanes. Refer to Exhibits 7a and 7b for applicable landscape lot location and dimension.

-- Valencia Drive

-- Upper Drive

-- Fullerton Avenue

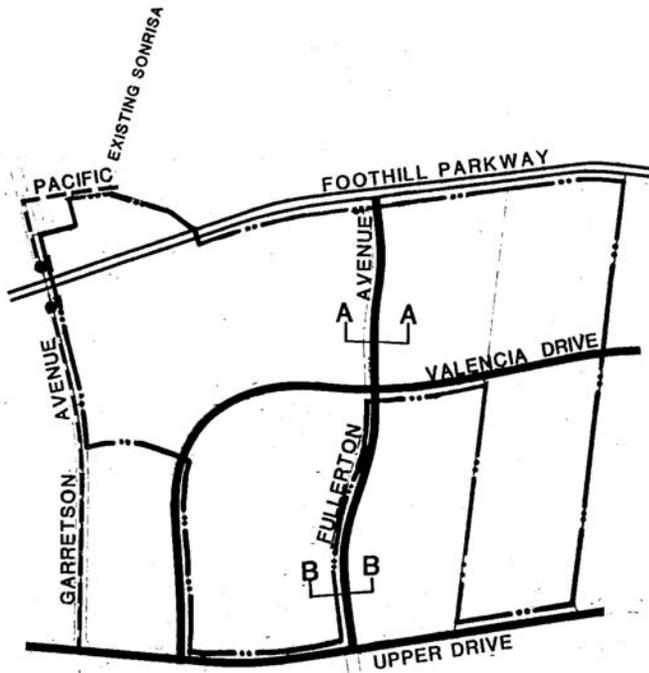
- c. Local Streets: Two lane undivided, 64' right-of— way; 40' pavement width. Refer to Exhibit 7c.

- Garretson Avenue
- Pacific Avenue

- d. Cul-de-Sac Street: The internal streets are primarily short, low volume cul-de-sacs, having a 60' right-of-way with a 36' pavement width. Twelve foot parkways on each side contain 4' sidewalks.
- e. Private Streets: Private streets will occur within the planning areas that provide single-family condominium housing. These private streets shall be constructed as shown on Exhibit 7d, which complies with City of Corona private street standards.

2. Bicycle Trail System/Standards

A Class I bicycle trail will be constructed to provide safe bicycle access to the neighborhood park. This Class I bikeway will be a 10 foot wide path paved with asphaltic concrete or concrete. It will meander within the 18' wide landscape lot and 12' parkway on the north and west side of Valencia Drive. This meandering trail will not occur within 5' of the curb or within 3' of the back of the landscape lot.



Circulation Plan

-  88' R.O.W. 4 LANE DIVIDED SECONDARY ARTERIAL
-  68' R.O.W. 2 LANE UNDIVIDED COLLECTOR
-  64' R.O.W. 2 LANE UNDIVIDED LOCAL STREET

Empire Homes Specific Plan

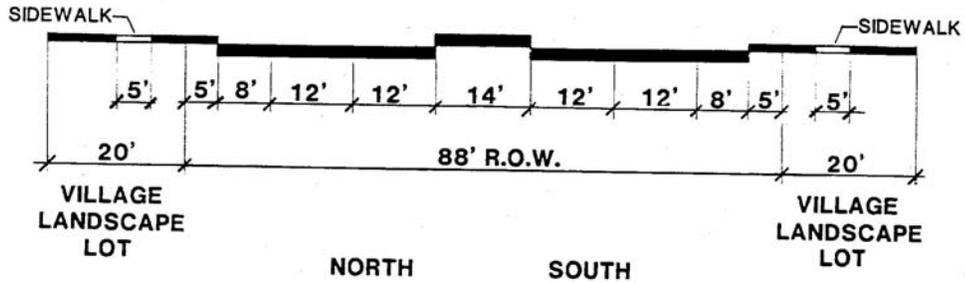
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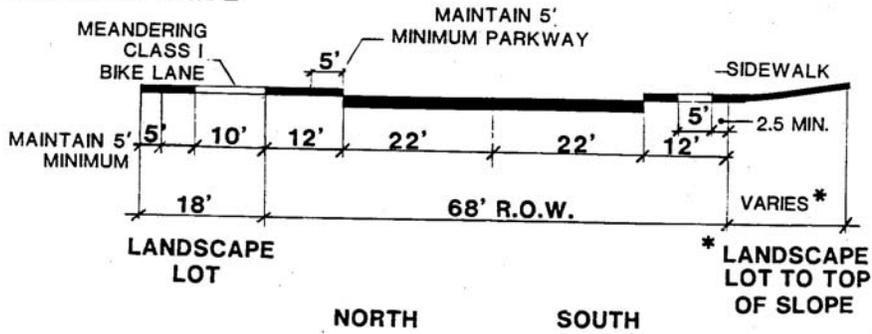
Exhibit 6

Typical Roadway Cross-Sections

DIVIDED SECONDARY FOOTHILL PARKWAY

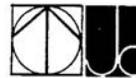


UNDIVIDED COLLECTOR VALENCIA DRIVE



Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes

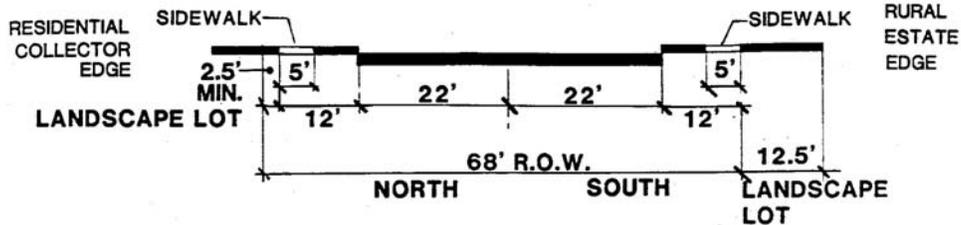


John L. Chapman
LAND PLANNING

Typical Roadway Cross-Sections

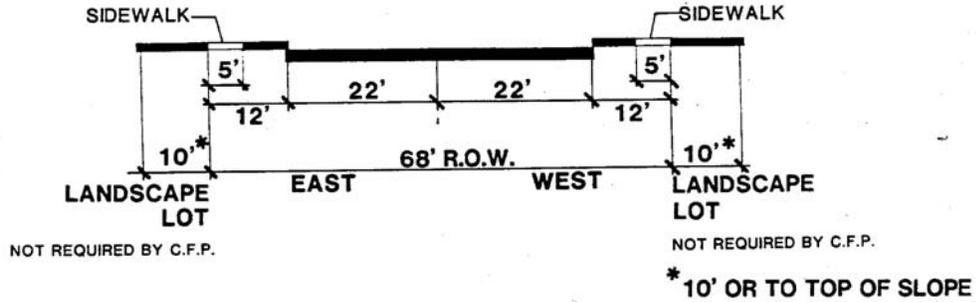
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UPPER DRIVE



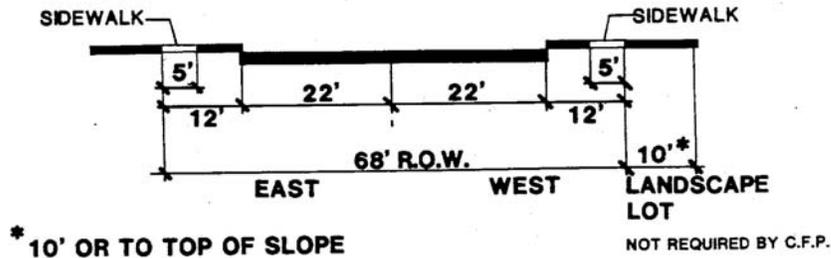
UNDIVIDED COLLECTOR

FULLERTON AVENUE - A (FOOTHILL PARKWAY TO VALENCIA DRIVE)



UNDIVIDED COLLECTOR

FULLERTON AVENUE - B (VALENCIA DRIVE TO UPPER DRIVE)



Empire Homes Specific Plan

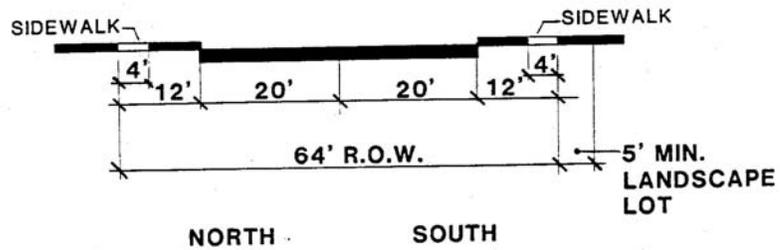
A Residential Community in South Corona by Empire Homes



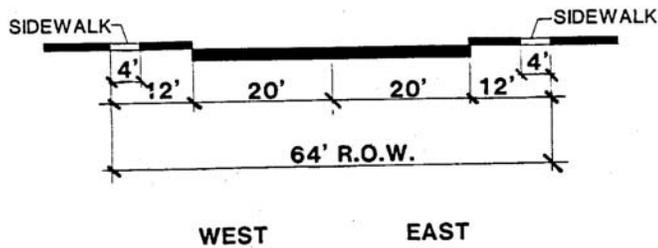
Exhibit 7b

Typical Roadway Cross-Sections

LOCAL STREET
PACIFIC AVENUE



LOCAL STREET
GARRETSON AVENUE



Empire Homes Specific Plan

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27

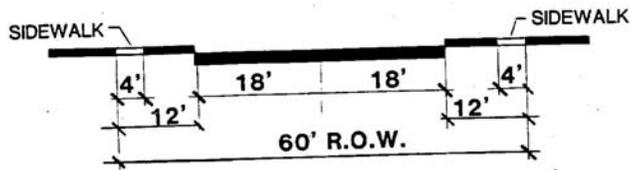


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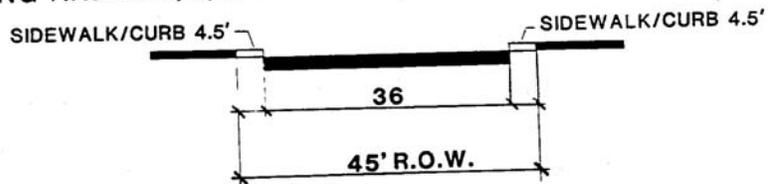
Exhibit 7c

Typical Roadway Cross-Sections

CUL-DE-SAC STREET



PRIVATE STREET PLANNING AREAS 2, 3, & 4



Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



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Exhibit 7d

C. INFRASTRUCTURE PLAN

The infrastructure for Empire Homes can be divided into three separate sections. The first section develops the “off-site” infrastructure which is comprised of backbone street, sewer, water and storm drain construction of major facilities as proposed by the City of Corona Community Facilities Plan. The completion of this development stage is necessary to provide basic infrastructure to serve the Empire Homes Specific Plan project.

The second section develops the “on-site” facilities such as street, sewer, water and storm drain as specified in the Community Facilities Plan. This stage of development will also include additional sewer, water and storm drain construction falling within the alignments of infrastructure master plan roadways, which may or may not be specified within the Community Facilities Plan.

The third stage of development will include street, sewer, water and storm drain construction of local public and private facilities within each of the individual development phases. This information is not provided within the Specific Plan as it will be defined during the preparation of Tentative Tract Maps.

Although there have been some informal changes made to the original Community Facilities Plan and other changes may continue to occur to better facilitate the development in South Corona, this report reflects the original Community Facilities Plan and changes that have been discussed with Foothill Ranch and the SCDC.

The description of water and sewer facilities with respect to size and alignment are for illustrative purposes. Actual sizes and alignments will be determined during the design of the improvements as demonstrated by the proper engineering analysis and shall be in conformance with the master-plan concepts developed for the South Corona Community Facilities Plan.

The following analysis of off-site and on-site required infrastructure, as specified by the South Corona Community Facilities Plan, is based on the assumption that these improvements will be partially or completely funded by the development of a Mello-Roos District. If the formation of this Mello-Roos District is not approved, Empire Homes will be responsible for the financing and construction of these facilities.

1. Off-Site Development

- a. Off-Site Streets: Major off-site roadway facilities are required as a part of the Empire Homes project, as specified by the traffic study prepared by L.S.A. These facilities will include upgrades to Lincoln Avenue, Main Street and Ontario Avenue. The extent of these upgrades will depend on the timing of projects east and west of the Empire Homes Specific Plan Area (i.e., Chase Ranch and Foothill Ranch). It is expected that both of these projects will be under construction prior to Empire Homes. These improvements are anticipated to be constructed with private funds, the proposed Mello-Roos District, or a combination of both. Chase Ranch and Foothill Ranch will rely on these same facilities and, if these projects occur first, they may provide for the major off-site roadway facilities necessary to serve the Empire Homes Specific Plan. Final determination of the extent of off-site roadways will be a part of the tentative tract approval.
- b. Off-Site Sewers: The Empire Homes property has three separate sewage drainage areas. The first is the Rimpau Avenue sewer line, an 8-inch sewer proposed for construction by the Chase Ranch project and proposed to be funded by the Mello-Roos District.

The second and main sewage drainage area is located in the center of the project and is referred to as the Fullerton Avenue line. The limits of construction for this line will be on Fullerton Avenue between Foothill Parkway and Ontario Avenue. The size is specified in the Community Facilities Plan as a 10-inch sewer and proposed for construction by the Mello-Roos District.

The third and last sewage drainage area is located on the west end of the project. The proposed alignment for this line is along Garretson Avenue. The limits for construction are between Foothill Parkway and Ontario Avenue. This sewer line is also a requirement of the Foothill Ranch Specific Plan and is proposed to be financed through their Mello-Roos District.

- c. Off-Site Water System: The Empire Homes project, as designated in the Community Facilities Plan, is totally within the Zone 5 water facilities pressure zone. The water source and treatment facilities

required by the CFP are being satisfied by water from the Western Municipal Water District (WMWD). This water will come from WMWD's Mills Line east of I-15, a distance of approximately 15,000 feet to the pumping station at Chase Drive and Lester Avenue. A transmission line is to be constructed in Lester Avenue to the Zone 5 reservoir. These facilities have been designated as a part of the proposed Mello-Roos financing district and transmission facilities as well as distribution facilities, including the expansion of the Zone 5 reservoir and pumping facilities, will be provided to the project site.

- d. Off-Site Storm Drains: The Community Facilities Plan designates two storm drain lines, 10BA and 10B, to drain the Empire Homes Project Site. Line 10B has been positioned from Foothill Parkway along Hudson Avenue and the prolongation of Hudson Avenue to join the existing storm drain in Old Temescal Road. The size ranges between 48 inches and 63 inches, according to the Community Facilities Plan. Line 105A is designated by the CFP as a 51-inch to 60-inch line which extends off-site between Foothill and Old Temescal Road along the alignment of Gilbert Avenue. Mello-Roos funding will be available for most of these improvements which would include mainline pipe, manhole structures and detention facilities. The segment of line 10B between Foothill Parkway and Chase Drive will be funded by Empire Homes. Line 7-KA shall be constructed from the existing 30" line in Garretson to the Empire Homes project.

There may be additional off-site master-planned storm drain improvement requirements necessary for the orderly development of this project. As phases within certain drainage areas develop, they will be reviewed by the City Engineer and the determination will be made at that time for off-site requirements.

2. On-Site Development

- a. On-Site Streets: Foothill Parkway, designated as an arterial roadway, will be improved from Garretson Avenue to the easterly project boundary. A full 88-foot right-of-way will be acquired by the Mello-Roos District along with street improvements that include 22 feet of paving on either side of the proposed 14-foot median. Empire Homes proposes completing the paving and parking improvements along the south side of Foothill Parkway.

Fullerton Avenue, designated as a collector roadway from Upper Drive to Valencia Drive, will be a partially improved section with full width pavement, curb and gutter, and sidewalk on the west side only. Fullerton Avenue from Valencia Drive to Foothill Parkway will be fully improved on both sides of the street.

Upper Drive, designated as a collector roadway, will be partially improved on the north side with pavement, curb and gutter, and sidewalk, with an additional 10 feet of pavement on the south side of center line improvements. Upper Drive will be coordinated with the alignments previously approved by the City as shown on the Foothill Ranch project. Upper Drive will be improved from Valencia Drive to the easterly project boundary.

Garretson Avenue, designated as a local street with a 64-foot right-of-way, will be a partially improved section. These improvements will include curb, gutter, sidewalk and a.c. pavement on the east side only. These improvements will extend from the southwest project boundary to the north to Foothill Parkway, then from the north side of Foothill Parkway to the project boundary.

Pacific Avenue, designated as a local street, having a 64' right-of-way, will be a partially improved section. This improvement will include curb, gutter and sidewalk on the south side only and one-half street plus ten feet of pavement. The south side of Pacific Avenue will include a five- foot wide landscape lot along the proposed development.

The details regarding the closure of Pacific Avenue between Sonrisa and Foothill Parkway are a design feature which will be handled at the subdivision map stage.

- b. On-Site Sewers: As specified in the Community Facilities Plan, a 10-inch sewer will be constructed in Fullerton Avenue from Upper Drive to Foothill Parkway. Additional on-site sewer lines will be required within east-west running streets to convey flows to the Fullerton Master Plan sewer. Flows will also be directed towards the Community Facilities Plan mainline sewers in Garretson and Rimpau Avenues as constructed by the Foothill Ranch and Chase Ranch projects respectively. These east/west lines are not specified in the Community

Facilities Plan and are not candidates for Mello-Roos funding.

More specifically, the 8-inch sewer lines in Foothill Parkway will need to be constructed east to join the facility as proposed by the Chase Ranch project (i.e. the easterly tract boundary). The 8- inch sewer line in Foothill Parkway west of Fullerton to Garretson is required to convey flows to an 8-inch Community Facilities Plan line located in Garretson. Sewer construction in Upper Drive will not benefit the Empire Homes project and is not being specified. Exhibit 8 diagrams sewer system improvements.

While it is not a part of the Community Facilities Plan master-planned infrastructure, a sanitary sewer will be needed in Valencia Drive or through Phase 4 to pick up flows from the southerly Fullerton Avenue sanitary sewer drainage basin adjacent to Phase 4.

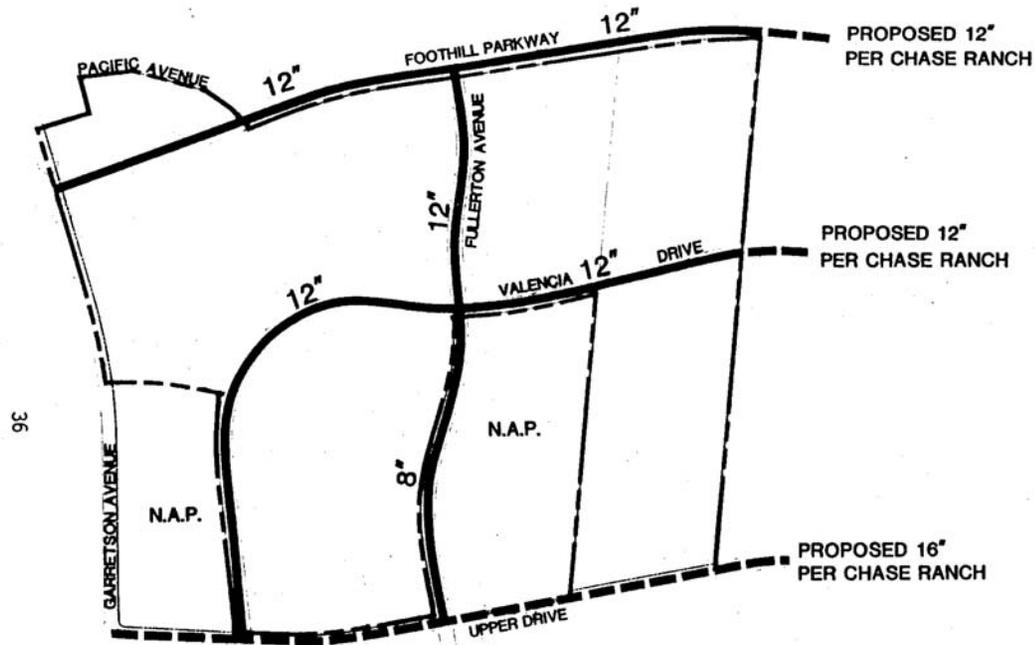
- c. On-Site Water Systems: As detailed in the Community Facilities Plan, 12-inch water lines are required in Fullerton Avenue between Valencia Drive and Foothill Parkway, and an 8” line in Valencia Drive and Foothill Parkway, east of Fullerton Avenue. The Foothill Parkway and Valencia Drive lines will join the proposed 12-inch water lines as specified in the Chase Ranch Specific Plan. Twelve-inch lines will be required in Valencia Drive, west of Fullerton to Upper Drive.

Additional 12-inch minimum water lines will be required in Foothill Parkway, west of Fullerton to Garretson, and in Fullerton Avenue a minimum 8” water line is required from Upper Drive to Valencia Drive. These lines are not specified in the Community Facilities Plan, but will be required for the development of this project. Exhibit 9 locates these water system improvements.

- d. On-Site Storm Drains: Two major storm drain lines as designated by the Community Facilities Plan are proposed to be constructed through the site. Line 10B is a 27-inch to 48-inch line that runs south to north between Valencia Drive and Foothill Parkway to the west of Fullerton Avenue. Line 10BA is a 30-inch to 48-inch line which runs in the same direction, but east of Fullerton Avenue. These lines are only shown as 24-inch lines in the Community Facilities Plan within the project site, but recent preliminary hydrologic studies indicate that the above sizes are more appropriate. A final hydrology study will be prepared to satisfy the City Engineer of this possible revision to the Community Facilities Plan

The Community Facilities Plan also indicates construction of an extension of line 10B to join at Valencia Drive. This line will drain a development area south of Valencia Drive between Valencia Drive, Upper Drive and Fullerton Avenue. Various additional storm drain lines will be required and constructed on Valencia Drive and Foothill Parkway which are not indicated as Community Facilities Plan improvements. Four of these lines consist of about 1200 feet of 24-inch line to serve as feeders for lines 10BA and 10B. The fifth line is on Foothill Parkway and drains a small portion of the project to line 7-K. Exhibit 10 identifies the storm drain system necessary for Empire Homes.

Water Plan



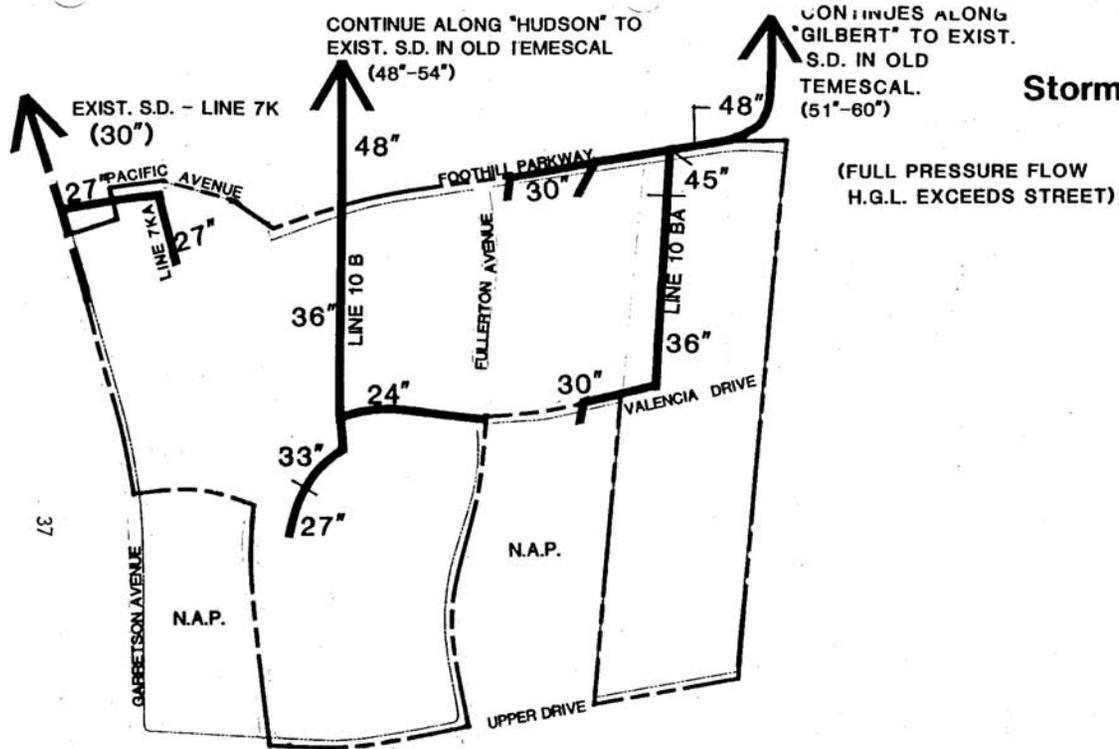
SOURCE: KWC ENGINEERS, INC.

Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



Exhibit 9



Storm Drain Plan

SOURCE: KWC ENGINEERS, INC.

Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes

John L. Chapman
LAND PLANNING
EXHIBIT 10

D. PHASING PLAN

This section identifies the intended development sequence and establishes the South Corona Community Facilities Plan infrastructures required to support each increment of development. It is anticipated that the project will be constructed in five phases. These areas are diagrammed on the Conceptual Phasing Plan, Exhibit 11.

The phasing program may be adjusted due to changes in the residential housing market and increased knowledge of the site. Adjustments shall be reviewed by the City to ensure compliance with the CFP and shall be approved by the Board of Zoning Adjustment subject to the provision of Section IV-D and Corona Municipal Code.

1. Phase 1

Phase 1 is concentrated in the northeasterly portion of the project site. It provides the 106 single-family condominiums identified in Planning Area 4.

Foothill Parkway will be developed from the easterly project boundary to Fullerton Avenue to include half street improvements plus full median and one westbound lane. Fullerton Avenue will be constructed with full paving, curb and gutter, and sidewalk from Foothill Parkway to Valencia Drive. Valencia Drive from the easterly project boundary to Fullerton Avenue will also be fully improved as a part of Phase 1 improvements.

A 36-inch storm drain is proposed within a local street increasing in size to 48 inches between Valencia Drive and Foothill Parkway in the vicinity of Gilbert Avenue. The CFP calls for the ultimate extension of a storm drain northerly along Gilbert Avenue to the drainage course located north and east of Old Temescal Road.

The CFP requires a 10-inch sewer to be constructed in Fullerton Avenue. This 10-inch sewer will be extended in Fullerton Avenue from Valencia, north to join existing facilities in Fullerton Avenue at Ontario Avenue.

The proposed water system, as outlined in the Community Facilities Plan, requires the installation of mainline facilities in Foothill Parkway, Fullerton Avenue and Valencia Drive. All water mains within these roadways will be 12-inch pipes. The site is entirely within Zone 5 pressure zone and facilities within this zone are dependent upon the proposed reservoir with a high water elevation of 1380.

Major water facilities will also be required as a part of this phase of development. A 16-inch line has been designated for installation in Upper Drive, as shown in the Community Facilities Plan. This 16-inch line is a transmission main linking the Zone 5 reservoir with the Zone 5 properties west of the Main Street Canyon. Construction of this facility is being proposed for the Foothill Ranch project.

The completion of the reach F-"Mills Line" to the Lester Avenue pump station as well as an additional Zone 5 transmission line to the reservoir and additional pumping capacity will be required during Phase I.

2. Phase 2

Phase 2 is located in the southeast portion of the project and provides the 75 dwelling units proposed in Planning Area 6.

Development of Phase 2 infrastructure system requires improvements on Upper Drive from Fullerton Avenue to the project's easterly boundary. To obtain two points of access to Phase 2, development of Fullerton Avenue between Valencia Drive and Upper Drive will be needed.

The CFP requires a 10-inch sewer to be constructed in Fullerton Avenue. This main is an extension of the 10-inch sewer described in Phase 1.

The CFP calls for no water main construction for the development of Phase 2, however, construction of a minimum 8-inch water line will be necessary in Fullerton Avenue from Valencia Drive to Upper Drive.

Although the Community Facilities Plan does not call for the extension of the storm drain facilities previously developed in Phase 1, due to the amount of flow being developed in Phase 2, that extension will be necessary.

3. Phase 3

A total of .28 single-family condominium dwelling units will be constructed during Phase 3, which consists of Planning Areas 2 and 3.

Development of Phase 3 infrastructure systems include half street improvements of Foothill Parkway between Fullerton Avenue and Phase 5, and full street improvements of Foothill Parkway between Phase 5 and Garretson Avenue. The half street improvements, to Foothill Parkway shall include a 12 foot return lane and full median. The systems also include full street improvements of Valencia Drive between Fullerton Avenue and Upper Drive. Phase 3 also includes half street improvements of Garretson Avenue between the southwest project corner to the cul-de-sac at Foothill Parkway Half street improvements to Garretson Avenue shall include a 10 foot return lane.

A 30-inch storm drain is proposed within a local street increasing in size to 36 inches between Valencia Drive and Foothill Parkway. The storm drain is located between Garretson Avenue and Fullerton Avenue. The CFP calls for the ultimate extension of a storm drain northerly to the drainage course located north and east of Old Temescal Road. An additional 27-inch storm drain line is needed to pull flows generated in Phase 3 over to the existing Garretson storm drain line.

Although the CFP does not call for sewers to be constructed as a part of the development of Phase 3, an 8-inch sewer line is necessary in Foothill Parkway to direct flow to the Fullerton Avenue 10-inch main as described in Phase 1. An additional non-CFP line is needed to direct flows to the Garretson Avenue sewer.

The proposed water system, as outlined in the CFP, requires the installation of a 12-inch mainline facility in Valencia Drive extending from the main line as described in Phase 1 to Upper Drive. An additional 8-inch line will be required in Foothill Parkway between Fullerton Avenue and Garretson Avenue.

4. Phase 4

Phase 4 development provides 105 single-family dwelling units on 7,200 square foot lots. This phase corresponds with Planning Area 7.

Development of the infrastructure system for Phase 4 includes the completion of Fullerton Avenue, from Valencia Drive to Upper Drive (half street improvements), and half street improvements of Upper Drive from Valencia Drive to Fullerton Avenue. Half street improvements to Fullerton Avenue and Upper Drive shall include a 10 foot return lane.

The Community Facilities Plan calls for the extension of the storm drain facilities previously developed in Phase 3. The proposed storm drain in Phase 3 includes construction of the 27-inch to 30-inch storm drain as designated by the CFP.

Although the CFP does not call for sewers to be constructed as a part of the development of Phase 4, an 8-inch sewer line is needed in, Valencia Drive or through Phase 4 to provide for service to properties south of Upper Drive and to Phase 4 itself.

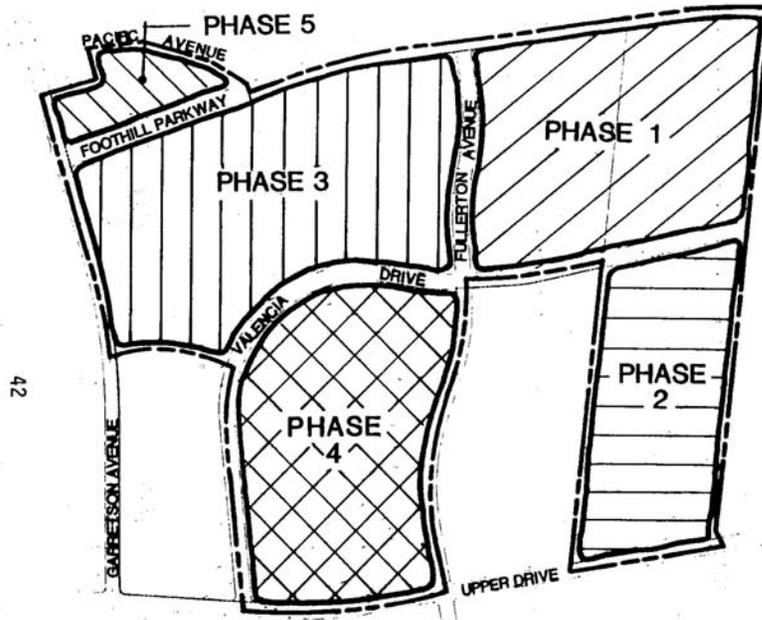
5. Phase 5

The final phase of the development for Empire Homes consists of the 16 single-family dwellings proposed in Planning Area 1.

Development of Phase 5 infrastructure provides half street improvements of Pacific Avenue adjacent to the Phase 5 project boundary which includes a 10 foot return lane.

Phase 5 infrastructure improvements will also include the completion of the Garretson Avenue cul-de-sac on the north side of Foothill Parkway along the west property line, as proposed by Foothill Ranch.

Phasing Plan



Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



IV. DEVELOPMENT STANDARDS

This Section describes the land use development standards that implement the project goals for Empire Homes Specific Plan. These standards have been developed to encourage creative and innovative design alternatives.

A. RESIDENTIAL DEVELOPMENT STANDARDS

1. Low Density Residential (0-6 du/ac)

- a. Single-Family Detached - 8,400 (Planning Area 1): This residential category allows for the development of single-family detached housing.

(1) Permitted Uses: The following uses are the only permitted uses within the Single-Family Detached areas:

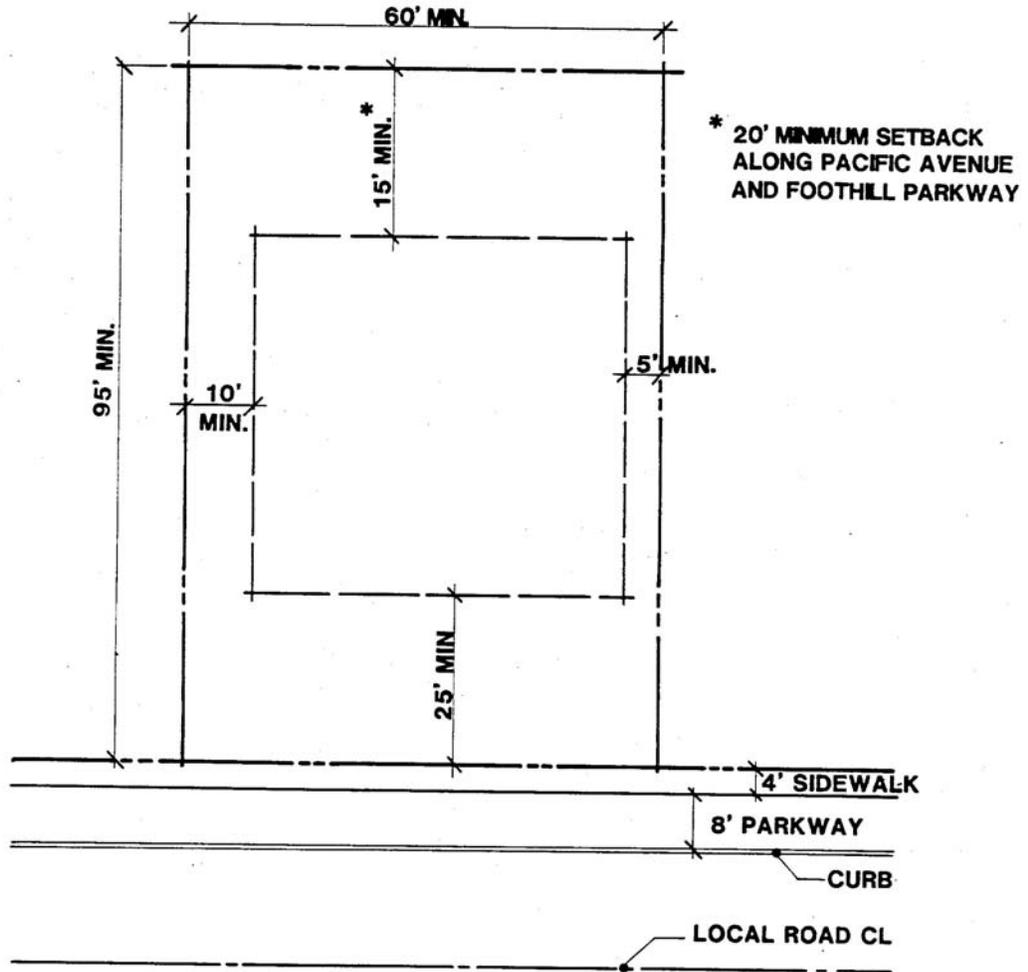
- (a) Single-family dwellings, one per each building site.
- (b) Secondary dwelling unit pursuant to approval of this residential unit as provided in the Corona Municipal Code, Chapter 17.85.
- (c) Home occupations as permitted by the Corona Municipal Code, Chapter 17.80.
- (d) Uses customarily associated with the above uses and accessory buildings, including private garage, private recreation facilities, and servant's quarters, provided that no facilities shall be included in any such accessory building.
- (e) Trailer used as a construction project office during construction when a valid building permit is in force.
- (f) Tennis courts and swimming pools.
- (g) Public parks.
- (h) Small family day care homes dwelling unit pursuant to of this residential unit as in the Corona Municipal Code,

- (i) Similar uses as determined by the Planning Commission.
- (2) Conditional Uses: The following uses shall be allowed provided a conditional use permit has been obtained, as provided by the Corona Municipal Code, Chapter 17.92.
- (a) Day care facilities.
 - (b) Public and private educational facilities.
 - (c) Health care facilities, subject to provisions of Chapter 17.73 of the Corona Municipal Code.
 - (d) Private parks.
 - (e) Public uses and facilities.
 - (f) Churches.
- (3) Development Standards: Property developed in this residential use category shall conform to the following development standards.
- (a) Minimum lot size: Eight thousand, four hundred (8,400) square feet. Twenty-five percent of the lots within this Planning Area may be the minimum lot size. The remaining lots must range between nine and ten thousand square feet.
 - (b) Minimum lot width: Sixty feet (60') minimum except for lots fronting on cul-de-sacs, curvilinear streets or knuckles. These lots must maintain a minimum width of forty-five feet (45') at the curb line.
 - (c) Minimum lot depth: Ninety-five feet (95').
 - (d) Lot coverage: Not more than thirty-five percent (35%) of the lot area shall be covered by buildings, including accessory buildings and structures.
 - (e) Maximum building height: Thirty feet (30') or two stories.

- (f) Building setbacks:
- (i) Front: Twenty-five feet (25') minimum from property line. A twenty foot (20') minimum is permitted with side-entry garages.
 - (ii) Side: Lots shall have side yards not less than five feet (5') on one side with a ten foot (10') minimum on the other side. Fifteen feet (15') is required on side yards of corner lots along the street.
 - (iii) Rear: Fifteen feet (15') minimum level area or less than 3:1 slope
 - (iv) Foothill Parkway: A minimum twenty foot (20') building setback is required from the village theme wall along Foothill Parkway.
 - (v) Pacific Avenue: A minimum twenty foot (20') building setback is required from the community theme wall along Pacific Avenue.
- (g) Distance between buildings: Ten foot (10') minimum
- (h) Minimum dwelling unit size: A minimum usable living area of one thousand two hundred (1,200) feet, excluding open patios and garages.
- (i) Parking requirement: Each unit shall be provided with two (2) garage parking spaces.
- (j) Transfer of dwelling units: Dwelling units may be transferred out of these Planning Areas per requirements outlined within Section VI-A of this document.
- (k) A 5' wide landscape lot is required from the right-of-way line to the property line along the south side of Pacific Avenue that is adjacent to Planning Area 1.

Typical Building Envelopes

SINGLE FAMILY DETACHED
8400 SQ. FT. LOTS



Empire Homes Specific Plan
A Residential Community in South Corona by Empire Homes



2. Low Medium Density Residential (3-8 du/ac)

a. Single-Family Detached - 7,200 (Planning Areas 6 and 7: This residential category allows for the development of single-family detached housing.

(1) Permitted Uses: The following uses are the only permitted uses within the single-family detached areas.

- (a) Single-family dwellings, one per each building site.
- (b) Secondary dwelling unit pursuant to approval of this residential unit as provided in the Corona Municipal Code, Chapter 17.85.
- (c) Home occupations as permitted by the Corona Municipal Code, Chapter 17.80.
- (d) Uses customarily associated with the above uses and accessory buildings, including private garage, private recreation facilities, and servant's quarters, provided that no kitchen facilities shall be included in any such accessory building.
- (e) Trailer used as a construction project office during construction when a valid building permit is in force.
- (f) Tennis courts and swimming pools.
- (g) Public parks.
- (h) Small family day care homes.
- (i) Similar uses as determined by the Planning Commission.

(2) Conditional Uses: The following uses shall be allowed provided a conditional use permit has been obtained, as provided by the Corona Municipal Code, Chapter 17.92.

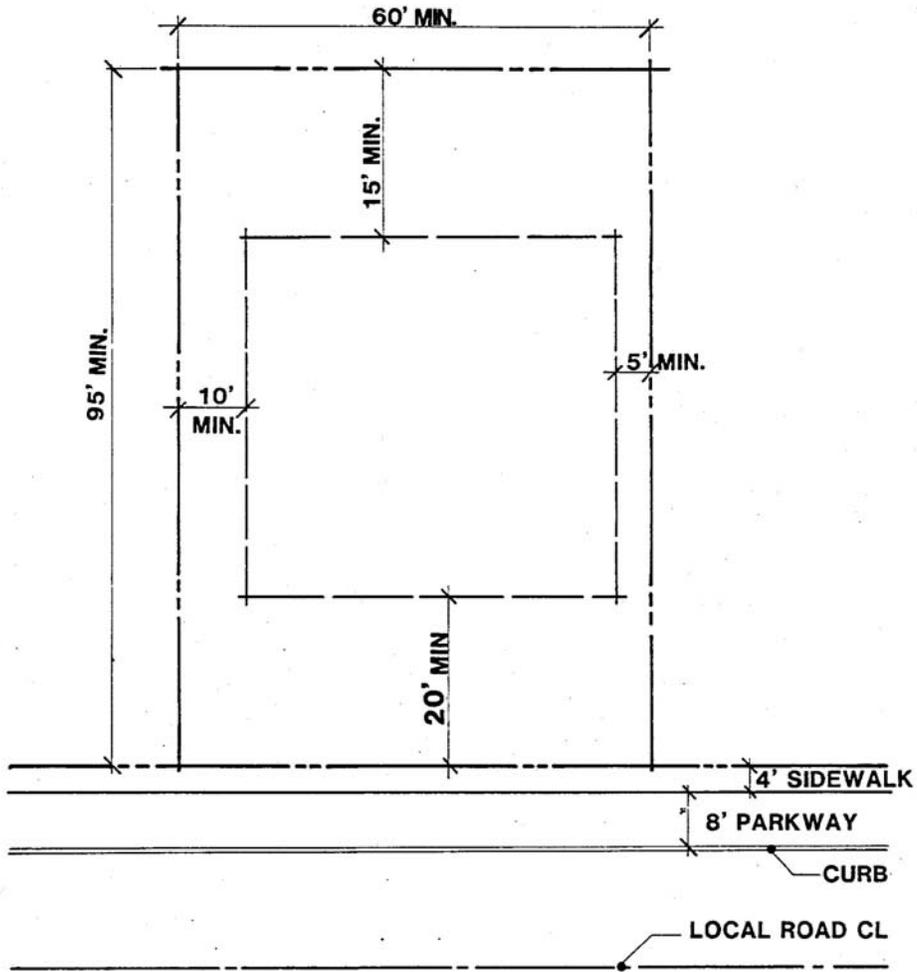
- (a) Day care facilities.
- (b) Public and private educational facilities.

- (c) Health care facilities, subject to provisions of Chapter 17.73 of the Corona Municipal Code.
 - (d) Private parks.
 - (e) Public uses and facilities.
 - (f) Churches.
- (3) Development Standards Property developed in this residential use category shall conform to the following development standards.
- (a) Minimum lot size: Seven thousand two hundred (7,200) square feet.
 - (b) Minimum lot width: Sixty feet (60') minimum except for lots fronting on cul-du-sacs, curvilinear streets or knuckles. These lots must maintain a minimum width of forty-five feet (45') at the curb line.
 - (c) Minimum lot depth: Ninety-five feet (95').
 - (d) Lot coverage: Not more than thirty-five percent (35%) of the lot area shall be covered by buildings, including accessory buildings and structures.
 - (e) Maximum building height: Thirty feet (30') or two stories.
 - (f) Building setbacks:
 - (i) Front: Twenty feet (20') minimum from property line.
 - (ii) Side: Lots shall have side yards not less than five feet (5') on one side with a ten foot (10') minimum on the other side. Fifteen feet (15') is required on side yards of corner lots along the street.
 - (iii) Rear: Fifteen feet (15') minimum level area or less than 3:1 slope.

- (iv) Foothill Parkway: A minimum twenty foot (20') building setback is required from the village theme wall along Foothill Parkway.
- (v) Collector Streets: A minimum twenty foot (20') building setback is required from the community theme wall along Valencia Drive. A minimum twenty foot (20') setback to building rear or fifteen foot (15') setback to building side from right-of-way along Fullerton Avenue and from the required 2-1/2' lot along Upper Drive.
- (g) Distance between buildings: Ten foot (10') minimum.
- (h) Minimum dwelling unit size: A minimum usable living area of one thousand two hundred (1,200) feet, excluding open patios and garages.
- (i) Parking requirement: Each unit shall be provided with two (2) garage parking spaces.
- (j) Transfer of dwelling units: Dwelling units may be transferred out of these Planning Areas per requirements outlined within Section VI-A of this document.

Typical Building Envelopes

SINGLE FAMILY DETACHED
7200 SQ. FT. LOTS



Empire Homes Specific Plan
A Residential Community in South Corona by Empire Homes



Exhibit 13

- b. Single-Family Condominium (Planning Areas 2, 3, and 4: This residential category allows for the development of single-family detached housing with exclusive use areas. The intent of this category is to provide an innovative alternative to traditional single-family detached housing.

(1) Permitted Uses:

- (a) Single-family condominiums.
- (b) Single-family detached units developed to standards outlined in Sections IV-A.1. and IV-A.2. of this Specific Plan.
- (c) Public or private recreation areas and open space.
- (d) Tennis courts, swimming pools and similar recreational facilities and structures.
- (e) Small family day care homes.
- (f) Home occupations as allowed under Chapter 17.80 of the Corona Municipal Code.
- (g) Trailer that is used as a construction project office or pre-sales office during time of construction, when a valid building permit is in force.

(1) Conditional Uses: The following uses shall be allowed provided a conditional use permit has been obtained, as per the Corona Municipal Code, Chapter 17.92.

- (a) Public uses and facilities.
- (b) Public and private educational facilities.
- (c) Churches.
- (d) Day care facilities.

(2) Development Standards: Property developed within this residential use category shall conform to the following development standards.

- (a) Lot coverage: Not more than forty percent (40%) of the lot shall be covered by buildings.
- (b) Maximum building height: Thirty feet (30') or two stories shall be the maximum building height.
- (c) Separation between single-family condominium and single-family detached: These residential uses shall be separated by a public street or a landscape buffer that provides an additional ten feet (10') to the required setbacks.
- (d) Building separation: Ten feet (10') shall separate the residential buildings.
- (e) Building setbacks shall be measured from the project boundary, from street right-of-way, or edge of private street easements, as appropriate per the following specifications:
 - (i) Street/dwelling unit setback: The minimum distance between a street and dwelling unit shall be ten feet (10') for a private or local street, fifteen feet (15') for a collector, and twenty feet (20') for a secondary or major arterial. In a corner lot situation, the setback along one street side shall be fifteen feet (15').
 - (ii) Garage/street setback: Front-on garages shall have a minimum setback of twenty feet (20') from the street right-of-way or private easement edge. Side-on garages shall maintain a five foot (5') minimum setback.
- (f) Minimum dwelling unit size: A minimum usable living area of one thousand (1,000) square feet, excluding open patios and garages.
- (g) Parking requirement: Each dwelling unit shall be provided with two (2) garage parking spaces. Guest parking shall be provided at a minimum of 0.25 parking spaces per unit of on-street parking.

- (h) Open space: Private space associated with each individual dwelling unit (yard, patio, atrium, etc.) may be included to provide the minimum open space requirement. Each dwelling unit processed under these provisions shall provide usable open space in the amounts specified as follows:

Minimum total open space per dwelling unit: 2,460 sq. ft.

Usable open space includes landscaped yard areas at grades of less than 10 percent; community recreation facilities such as swimming pools, spas, tennis courts, putting greens and similar outdoor recreation spaces; bikeways and pedestrian walkways and natural open space by approval of the Planning Commission. This may include deed restricted or use restricted common property.

- (i) Transfer of dwelling units: Dwelling units may be transferred into or out of these Planning Areas per requirements outlined within Section VI-A of this document.

V. DESIGN GUIDELINES

A. ARCHITECTURAL DESIGN GUIDELINES

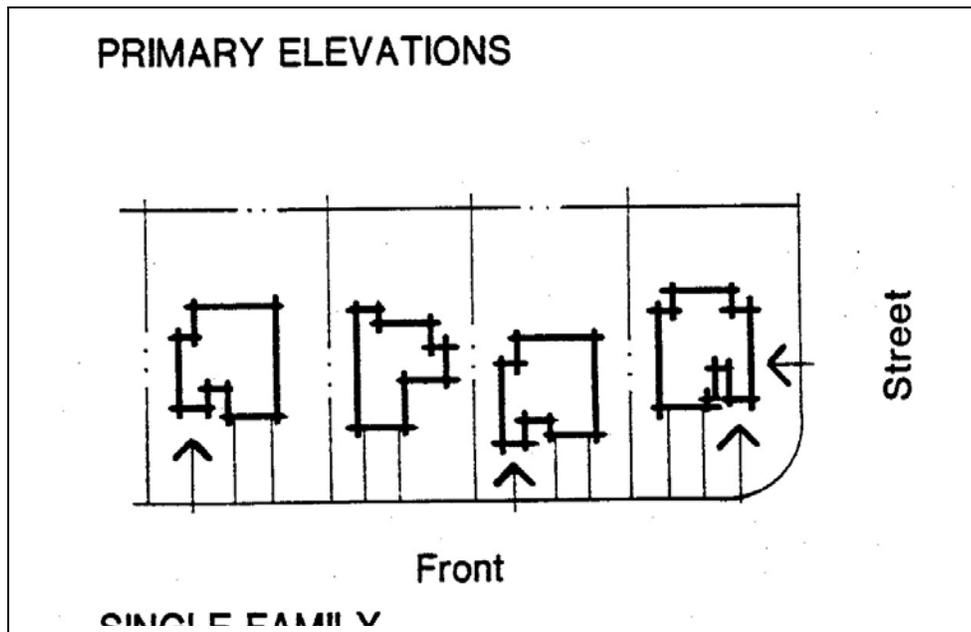
1. General

Single-family detached and detached residential condominium architectural design guidelines permit a wide range of types and styles within Empire Homes Specific Plan. The purpose of these design suggestions is to encourage general techniques which are successful with a variety of building styles and materials to create a high quality, aesthetically pleasing project, that will set high development standards for future projects in South Corona.

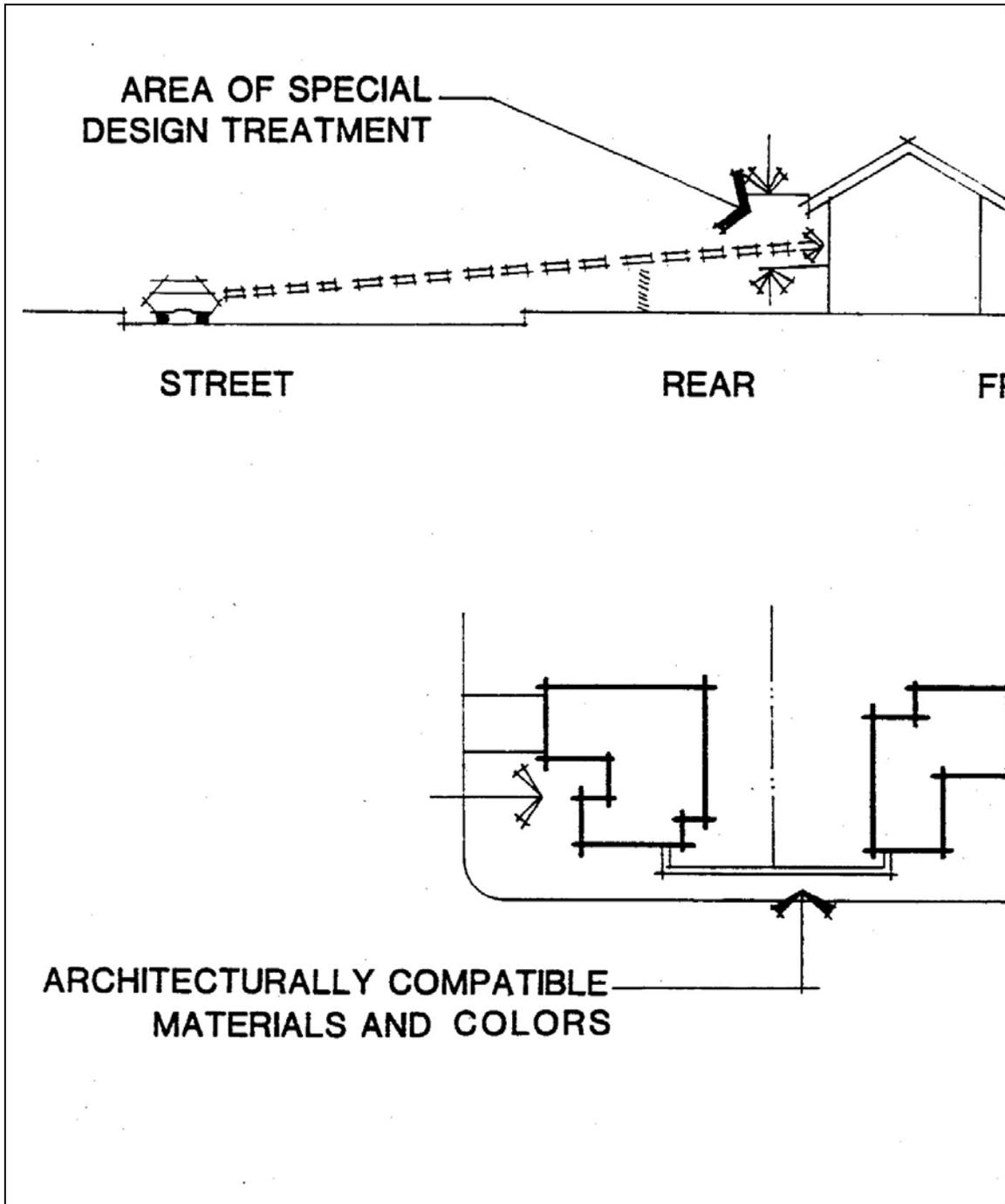
2. Elevations

These guidelines are primarily concerned with the physical appearance of the community environment as perceived by residents and visitors. Therefore, it is the intent of these guidelines to apply to that front, side and rear elevations, boundaries, and perimeter edges that are visible to the public and hereinafter defined.

The term, “primary elevation” means those surfaces of a building, structure or yard that can be perceived from an adjacent public access way or rear yard. This usually means the front, rear and exterior side yard views at corner lots.



Primary elevations of a building should be designed so that they become the most attractive side of the structure. This should be accomplished through the use of shadow relief, architectural detailing and enriched color materials.



3. Shadow Relief

The way light strikes a building has an important effect on how it is perceived. Shadow areas give buildings the appearance of depth and help to establish a perceived quality level. Therefore, every building should have a shadow relief. Offsets, pop-outs, roof or wall overhangs and recesses may all be used to produce effective shadow interest areas. In order to maintain an appropriate sense of scale, larger buildings should employ more shadow relief than do smaller buildings. Large unbroken expanses of wall should be avoided.

4. Openings and Entrances

It is desirable to design window and door openings so that a strong architectural character is developed, particularly on primary elevations. Entries should have a strong and distinct character.



5. Materials and Color

The color and materials for individual building walls and roofs should be compatible with neighboring structures and fences or walls. It is desirable to create continuity by employing the following elements.

- a. Materials such as wood, stone or stucco.
- b. Large areas of color (avoid use of black, pure white or primary colors).
- c. Mixed or uniform masonry.
- d. Small surfaces and trim that may be accented with a contrasting compatible adjacent color or trim.
- e. Roof materials which are consistent within the same structure and adjacent buildings.
- f. For residential uses, no white or metal roofs are permitted.

6. Garage Doors

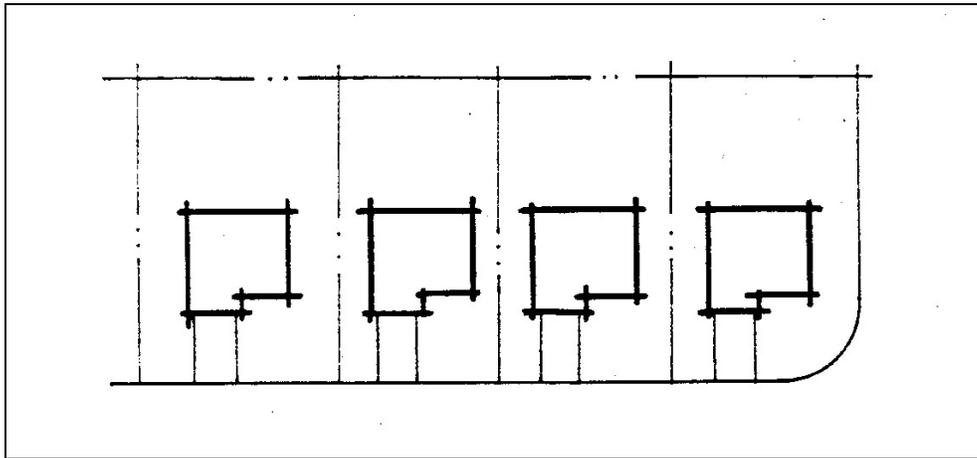
Garage doors are an important architectural component of residential units and therefore require special attention. For all garage doors visible from public streets, material and color shall be compatible with the primary building materials regarding the following.

- a. Overall color scheme, matching trim or primary color.
- b. Consistent appearance and quality level with other elements in the front or primary elevation.
- c. Articulation or openings consistent with building style and detailing.

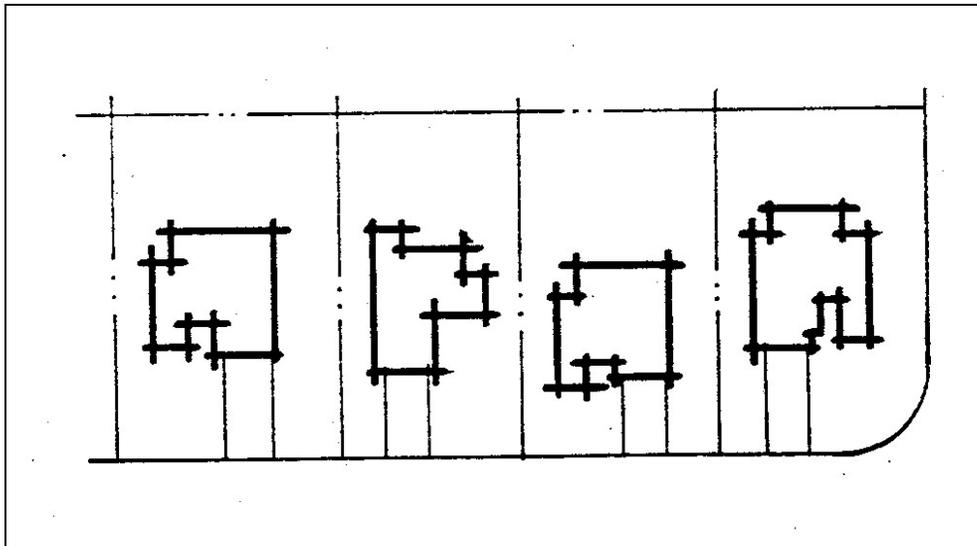
7. Site Plan Criteria - Single-Family Detached

Building plans should incorporate simple jogs so that long roof planes and long wall elevations can be avoided.

Avoid repetition of very similar shaped buildings and elevations which will produce monotonous Street scenes.



Providing a variety of building plans with differing setbacks result in variety of street scenes.



8. Site Plan Criteria - Single-Family Condominium

In these detached homes, it is important to provide each unit with its own identity and entry. This can be accomplished by staggering and offsetting each separate unit and combining one and two story building forms to separate massing. This will also provide variety to the streetscape.

The site planning of these units shall be designed to provide the following:

- a. A private feeling for homeowners.
- b. An enhanced streetscape.
- c. View opportunities, where possible, and desirable private yards.

B. LANDSCAPE DESIGN GUIDELINES

The Empire Homes Specific Plan defines the two levels of landscape improvements for the project. The conceptual landscape plan addresses components that create the community wide character and image. These elements include community entries, streetscapes for arterial, secondary and collector roads, and community walls.

The secondary landscape elements are those that apply to the individual neighborhoods. These elements typically include local streetscapes and landscaping of any common areas within the neighborhood or tract.

The development of the conceptual landscape plan for Empire Homes was directed by the following objectives:

- The landscape design shall conform to and expand upon the standards established in the South Corona Community Facilities Plan.
- Provide a landscape that maintains high aesthetic quality while encouraging water and resource conservation.
- Establish the community image and project identity through the use of appropriate landscape components.

1. Community Landscape Elements

The Conceptual Landscape Plan, as described in Exhibit 14, defines the overall community landscape elements. A description of these elements follows.

a. Major Project Entry - Village Entry

The major project entry is located in conjunction with the Village 3 entry at the intersection of Foothill Parkway and Fullerton Avenue. The purpose of this element is to establish a statement of quality and desirability at the arrival to this community.

This entry feature incorporates the community theme wall with project signage and decorative concrete of low maintenance and high quality. These materials are to be compatible with the Village theme and the architectural character of the development. Permanent project identification shall be mounted to the wall that is of a high quality appearance and a size and finish that provides good visibility.

Palm trees will provide a vertical accent and integrate streetscape elements into the entry. Flowering canopy trees, flowering shrubs and annual color combine to provide interest and richness at the entry. Exhibit 15 provides a sketch of the entry concept for Empire Homes.

b. Streetscapes

The landscape treatment for Foothill Parkway, Valencia Drive, Upper Drive and Fullerton Avenue is described in the Conceptual Landscape Plan, Exhibit 14. This plan is designed to conform with the South Corona Community Facilities Plan and incorporates plant materials and treatments specified by the CFP. The landscape improvements for the project streetscapes meet or exceed the requirement set forth in the CFP.

The Specific Plan proposes an additional 10' landscape lot within the Specific Plan boundary along Fullerton Avenue. This enhances the Village core treatment through the project.

c. Manufactured Slope Banks

All manufactured slope banks shall be permanently landscaped with turf (if grade is 5 to 1 or less) and/or drought tolerant plant materials which control erosion effectively.

d. Walls and Fencing

Community theme walls are to be located along Foothill Parkway, Valencia Drive, Fullerton Avenue, Upper Drive, Pacific Avenue and Garretson Avenue. These walls provide project identity, noise control, security and privacy. Decorative materials will be incorporated on the wall caps and pilasters.

Walls shall also be located at the boundaries between different use areas and at the boundary of the Specific Plan area. These walls shall be located within private property and will not be maintained by the City.

Where the opportunity occurs, walls are encouraged to incorporate insets or jogs so that the streetscape has heightened interest.

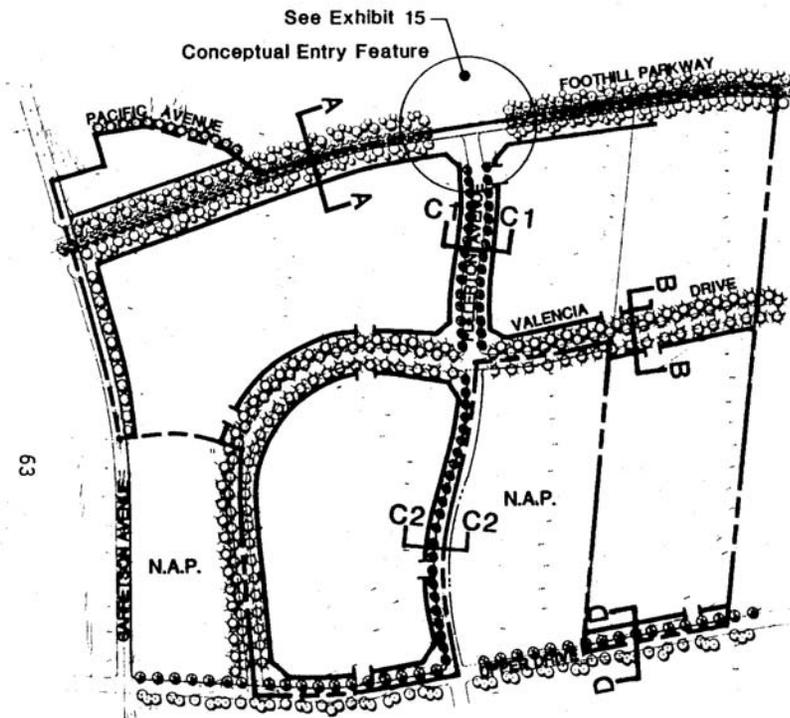
e. Landscape Phasing and Maintenance

Landscape installation shall be phased and maintained as follows.

- (1) Improvements between the back of curb and the back of sidewalk shall be installed at the same time as the adjacent roadway improvements.
- (2) Improvements between the back of sidewalk and property line shall be installed at time of development construction by the merchant builder.
- (3) The Maintenance District shall be responsible for maintaining all landscaping and landscape improvements within landscape lots and street median. Street trees within public right-of- ways will be maintained by the City Parks and Recreation Department unless approved otherwise. Theme walls shall not be maintained by the Maintenance District, but shall be maintained by a homeowner's association or by the individual homeowner.

Landscaping which is to be maintained by the District is to be designed and constructed per City “Landscape Maintenance District Formation and Design Guidelines.”

- (4) All private streets shall have street trees installed on private property and shall be maintained by the homeowners.



Conceptual Landscape Plan

FOOTHILL PARKWAY

Streetscape Section A
(Exhibit 16a)

VALENCIA DRIVE

Streetscape Section B
(Exhibit 16a)

FULLERTON AVENUE

Streetscape Section C-1 & C-2
(Exhibit 16b)

UPPER DRIVE

Streetscape Section D
(Exhibit 16c)

Empire Homes will install all landscape improvements within the parkway and landscape lots that are dedicated by tracts within Empire Homes.

— Village Theme/Project Entry Wall
6' High Masonry Wall with Accent Cap

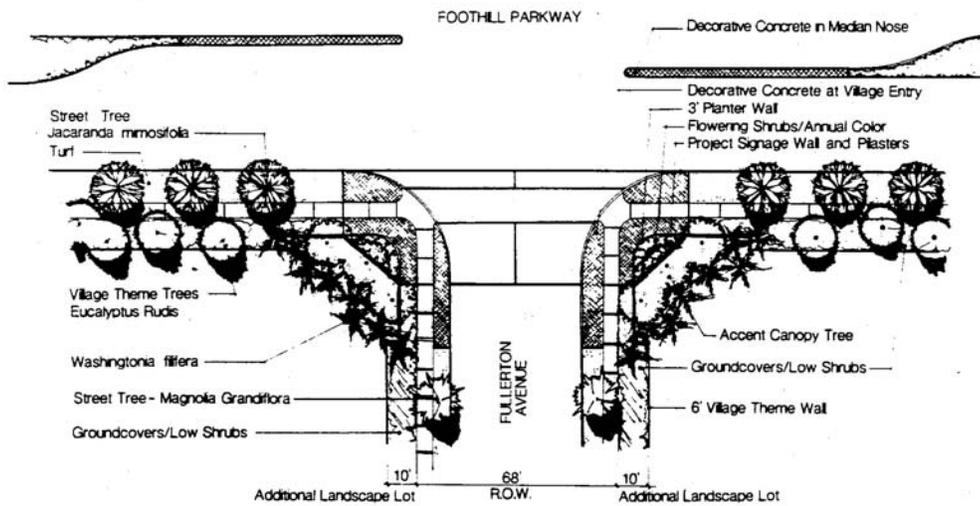
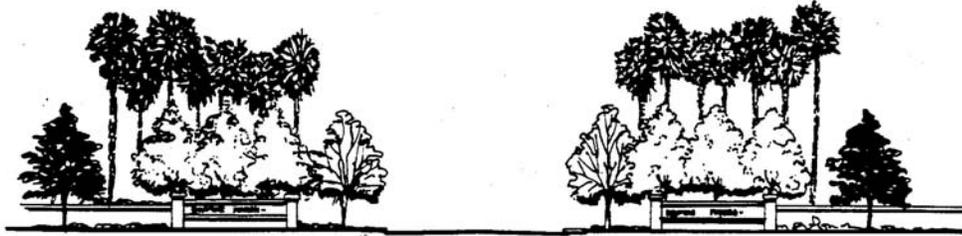
Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes

 **John L. Chapman**
LAND PLANNING
Exhibit 14

Conceptual Entry Feature

Village & Project Entry

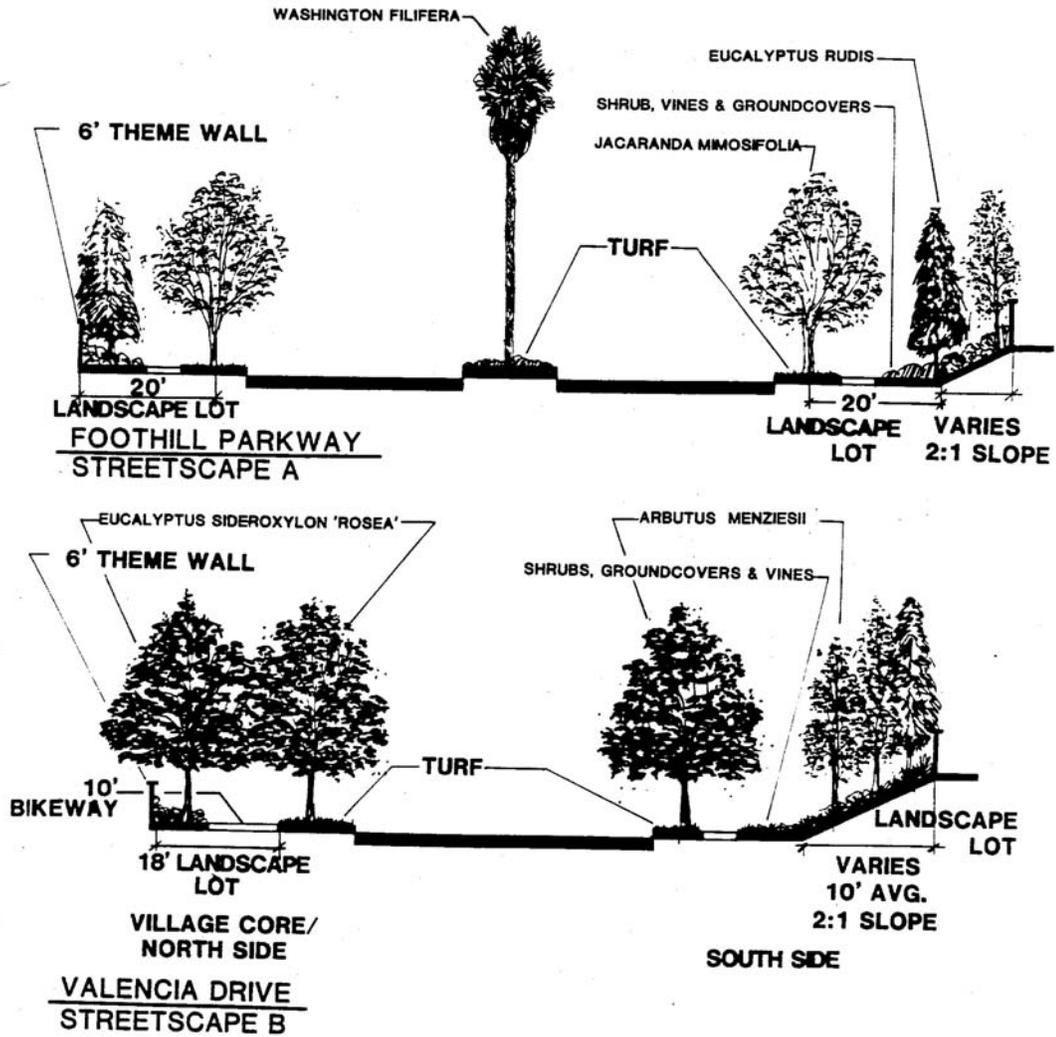


Empire Homes Specific Plan
A Residential Community in South Corona by Empire Homes



Exhibit 15

Streetscape Sections



Empire Homes will install all landscape improvements within the parkway and landscape lots that are dedicated by tracts within Empire Homes.

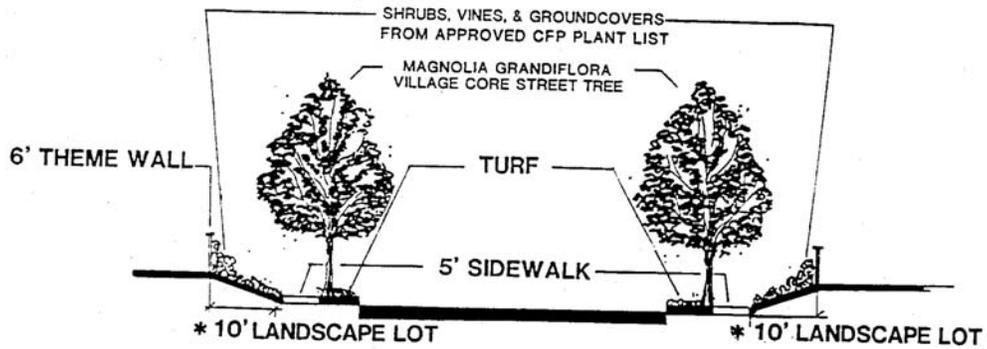
Empire Homes Specific Plan
 A Residential Community in South Corona by Empire Homes



John L. Chapman
 LAND PLANNING

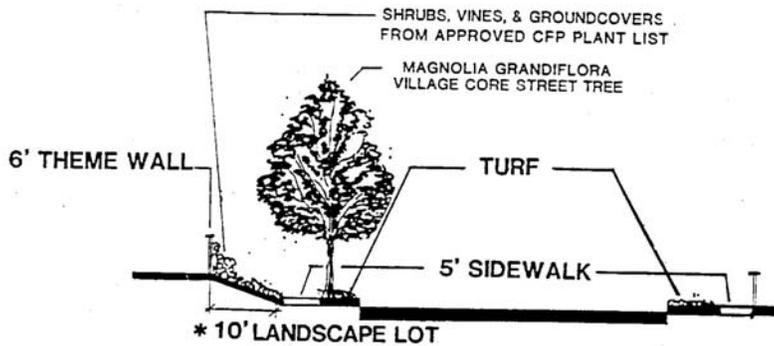
Exhibit 16a

Streetscape Sections



FULLERTON AVENUE
STREETScape C-1

* In addition to C.F.P. requirements.



FULLERTON AVENUE
STREETScape C-2

Empire Homes will install all landscape improvements within the parkway and landscape lots that are dedicated by tracts within Empire Homes.

* In addition to C.F.P. requirements.

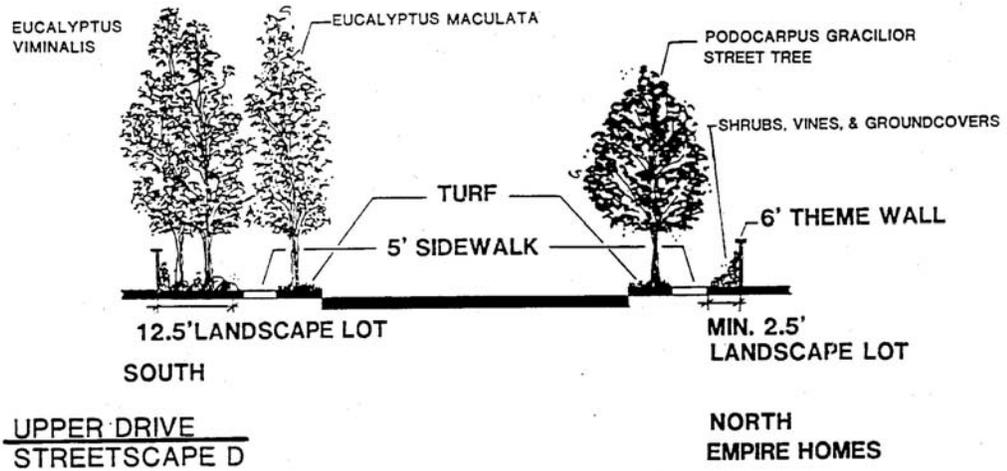
Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



John L. Chapman
LAND PLANNING

Streetscape Sections



Empire Homes will install all landscape improvements within the parkway and landscape lots that are dedicated by tracts within Empire Homes.

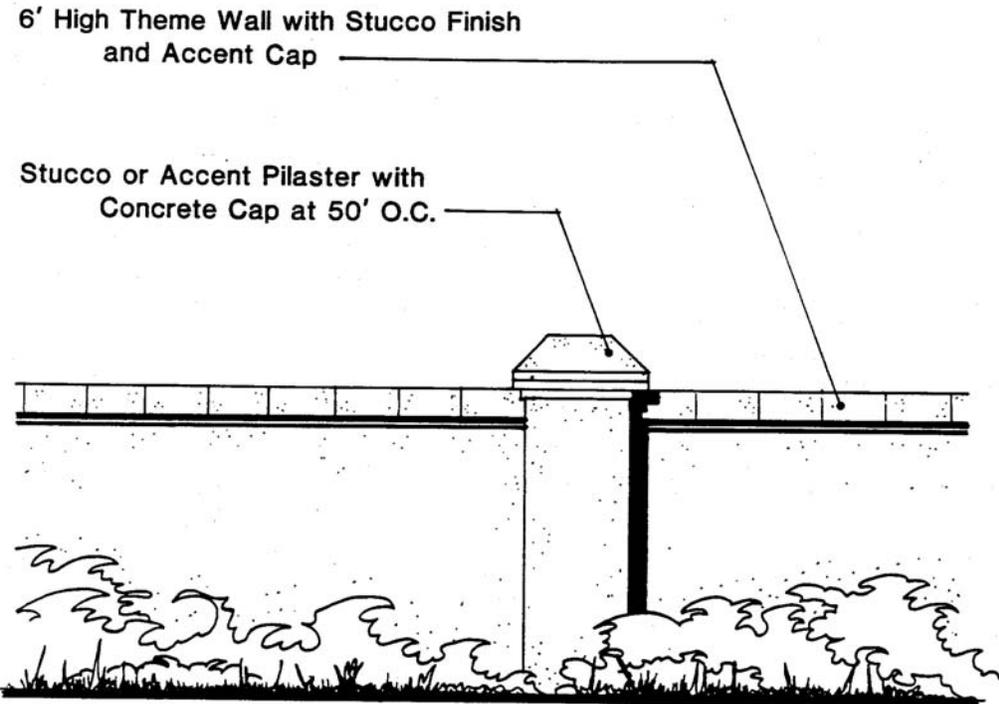
Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



Exhibit 16c

Theme Wall



Empire Homes Specific Plan

A Residential Community in South Corona by Empire Homes



Exhibit 17

2. Neighborhood Landscape Elements

The purpose of these guidelines is to expand the landscape standards provided by the South Corona Community Facilities Plan. They intend to provide the necessary flexibility to integrate the architectural style and landscape components for the individual neighborhoods within the Empire Homes development.

a. Neighborhood Street Trees

The following criteria should guide the selection of street trees for the residential tracts.

- (1) Deep rooting characteristics so conflicts with curbs, sidewalks and driveways are avoided.
- (2) High branching patterns to accommodate pedestrian access and parked cars along the street.
- (3) A mature height and canopy that is compatible with residential scale.
- (4) Shade in the summer months.
- (5) Minimal requirements for pruning to maintain desired form.
- (6) Resistance to pests and disease.
- (7) The following represents street trees that are appropriate for use within the individual residential neighborhoods of the Empire Homes project.

Botanical Name	Common Name	Minimum Size	
Brachychiton populneus	Bottle Tree	15	Gal.
Cupaniopsis anacardioides	carrot Wood	15	Gal.
Eucalyptus sideroxylon "Rosea"	Red Iron Bark	15	Gal.
Fraxinus uhdei" Tomlinson"	Tomlinson Ash	15	Gal.
Hymenosporum flavum	Sweet shade	15	Gal.
Koelreuteria bipinnata	Chinese Flame Tree	15	Gal.
Liquidambar styraciflua	2 Sweet Gum	15	Gal.
Olea europaea "Fruitless"	Fruitless Olive	15	Gal.
Platanus acerifolia	London Plane Tree	15	Gal.
Pittosporum rhombifolia	Queensland	15	Gal.
Pittosporum			
Quercus agrifolia	Calif. Live Oak	15	Gal.
Tipuana tipu	Tipu Tree	15	Gal.
Ulmus parvifolia "Drake"	Evergreen Elm	15	Gal.

Trees not on the above list will be permitted if they are listed on the City of Corona approved list of street trees and are included in the recommended CFP plant palette.

b. Neighborhood Parkways

Parkway areas within residential tracts shall be planted primarily with turf or groundcovers. Smaller shrubs are also permitted behind the sidewalk. The following list represents recommended species for this area that were selected to provide drought tolerance and disease resistance.

Botanical Name	Common Name
Acacia redolens	NCN
Agapanthus africanus	Lily of the Nile
Arctostaphylos species	Manzanita
Baccharis pilularis "Twin Peaks"	Coyote Brush
Ceanothus species	California Lilac
Gazania splendens "Nitsuwa Yellow"	Gazania
Hemerocallis species	Day Lily
Lantana species	Lantana
Lonicera japonica	Honeysuckle
Pittosporum tobira "Wheeler's Dwarf"	Dwarf Pittosporum
Pyracantha species	Firethorn
Raphiolepis indica	Indian Hawthorn
Rosemarinus officinalis	Rosemary
Trachelospermum jasminoides	Star Jasmine

c. Irrigation System Criteria

Irrigation systems within all public rights-of-way and landscape maintenance district areas shall conform to the following standards.

- (1) Irrigation systems shall conform to the City of Corona's "Landscape Maintenance District Formation and Design Guidelines."
- (2) Irrigation systems shall employ permanent automatic controllers.
- (3) All systems should be designed so that areas of separate maintenance responsibility can be controlled independently to the extent practical.

- (4) Check valves or anti-drain valves shall be used on slope irrigation lines to minimize erosion and uncontrolled runoff due to line drainage.
- (5) Systems should use low precipitation rate spray heads, laid out and selected to minimize water waste due to over-spray or airborne misting, and designed to adjust water output to water use requirements of plant material to the extent practical.
- (6) All street tree planting and spacing shall be in accordance with City Standard Plans #614 and #701.
- (7) All irrigation pipes within the public right-of-way, Landscape Maintenance District property, and/or City owned property shall be 80 PVC (minimum).
- (8) All publicly maintained landscaping and irrigation shall be designed by a Licensed Landscape Architect and submitted on City of Corona standard mylars to the Public Works Department (four copies) for plan checking and approvals.
- (9) All landscaping and irrigation facilities within Landscape Maintenance Districts or to be maintained by the City shall conform to Standard Plans #600-617 and #701 and the Landscape Maintenance District Formation and Design Guidelines.

VI. IMPLEMENTATION

A. TRANSFER OF DWELLING UNITS

1. The intent of the Specific Plan is to allow a degree of flexibility regarding the number of dwelling units allowed within a particular Planning Area. The maximum units allowed for a Planning Area is determined by the density ranges established in the South Corona Community Facilities Plan. A transfer of dwelling units from one Planning Area to another within the Empire Homes Specific Plan is allowed, provided the following provisions are met.
 - a. Transfers shall not exceed the density ranges outlined in the CFP.
 - b. Transfers shall not result in exceeding the overall plan maximum of 610 dwelling units.
 - c. Transfers shall not exceed the dwelling unit maximum established in Table A.
 - d. Dwelling units shall not be transferred into park sites unless the City has determined that the park site is not necessary within the Empire Homes project. If Planning Area 5 is not developed as a park, the overall plan maximum dwelling units shall increase to 643.
2. Property owners shall provide a written statement of unit transfers indicating areas where units are being transferred to and from, to the Community Development Director, prior to the approval of subdivision maps. A revised Land Use Table and Dwelling Unit Transfer Table must also be submitted to be included in future editions of this Specific Plan. If areas involved in the transfer of dwelling units are owned by different parties, a written agreement signed by both parties indicating the transfer of those units shall also be provided prior to approval of subdivision maps. Prior to the approval of any density transfer or density increase, the Public Works Director may require the submittal of a traffic analysis for review and approval.

B. SPECIFIC PLAN AMENDMENTS

During the course of project development and construction, Specific Plan Amendments may become necessary. It should be understood that, while this document attempts to be comprehensive, not all things can be envisioned in its preparation. Therefore, it should be understood that Specific Plan Amendments are anticipated and are useful to keep the Plan current with changes in the housing and construction market.

Applications for Specific Plan Amendments shall be made to the Community Development Director based upon the current application requirements. Applications shall be considered by the Planning Commission and the City Council. The following criteria shall be considered for amendments to the Specific Plan:

- Consistency with the City of Corona General Plan and South Corona Community Facilities Plan.
- Consistency with the intent of the Empire Homes Specific Plan.
- Adequate circulation to and from and within the area is maintained.
- Public service levels capable of adequately serving the Specific Plan are provided.
- The public and private open space system is neither disrupted nor depleted.

C. VARIANCES

Variance applications to the standards contained herein shall be permitted in compliance with CMC Sections 17.96 for major variances, and 17, 98.020.B for minor variances.

D. PRECISE PLAN

Residential projects in Planning Areas 2, 3 and 4 shall require approval by the Planning Commission unless developed as single-family detached units pursuant to the standards within Section IV.A.1 of this Specific Plan.

E. INFRASTRUCTURE PLAN AND PHASING ADJUSTMENTS

The Board of Zoning Adjustment shall have the authority to hear and decide applications for modifications to the infrastructure phasing plans. The Board shall be required to make the following findings:

1. That the modification is consistent with the General Plan.
2. That the proposed changes will not adversely affect the implementation of the Specific Plan or the Community Facilities Plan.
3. That it will not be detrimental to the public health, safety, and general welfare.
4. That the proposed modification will not delay the construction of master plan improvements necessary to serve the development.

F. FACILITIES FINANCING PROGRAM

The on-site and off-site required infrastructure, as specified in the South Corona Community Facilities Plan is based on the assumption that these improvements will be partially or completely funded by the development of a Mello-Roos District. It will be the responsibility of Empire Homes to finance and construct these facilities if the Mello-Roos District formation is not approved.