

# ***The Crossings***

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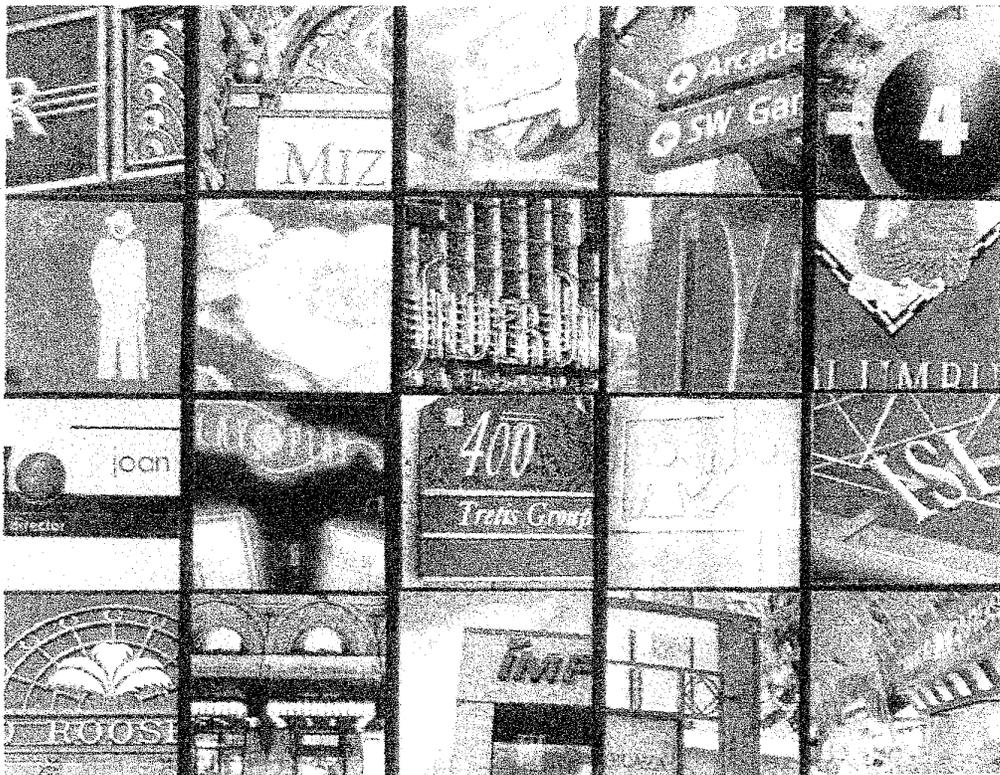
## **SIGN CRITERIA**

April 2nd 2003

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# O B J E C T I V E

The objective of the following sign criteria is to provide standards and specifications that assure consistent quality, size variety and placement for Tenant signs throughout this project. These criteria are also intended to stimulate creative invention and achieve the highest standard of excellence in environmental graphic communication. Such excellence is best achieved through open and frequent dialogue between Tenant, Landlord, and the project's graphic design consultant. Signing The Crossings, Corona California is an integral part of the center's image and appeal, so signs must be thoughtfully designed, placed and proportioned to the individual architectural façade on which they are placed. Care in the design and installation of store signs will enhance customer's appreciation of individual tenants and contribute to the projects overall success.



## **OVERVIEW**

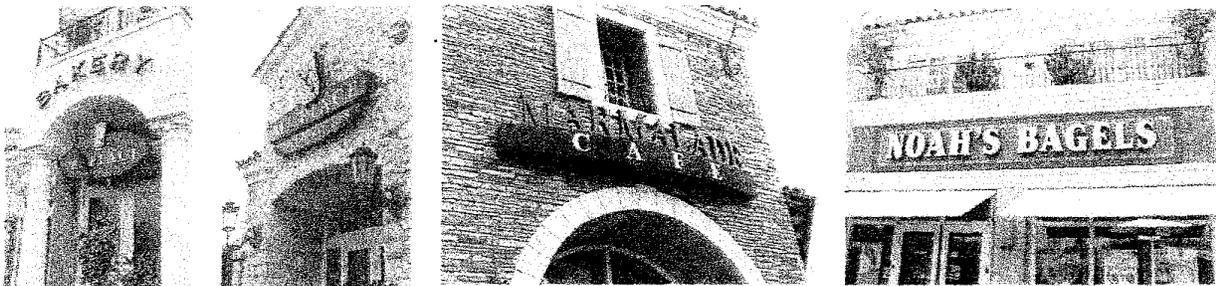
The overview of this sign criteria is to assist the Landlord/Tenant and city relationship.

The Landlord will be responsible to:

- a) Provide base building design and construction information requested by tenant's sign design consultant.
- b) Review, comment and approve tenant sign submissions.

In return the Tenant will be responsible for:

Design, fabrication, permitting and installation of signs, including any structural support and electrical service and any special installation requiring addition or modification to the shell building approved by the Landlord.



### **Maintenance of the sign.**

The tenant shall employ professional sign fabricators and installers approved by the Landlord who are well qualified in the techniques and procedures required to implement the sign design concept.

The Tenant will abide by all provisions; guidelines and criteria contained within this The Crossings, Sign Criteria.

Only those sign types provided for and specifically approved by the Landlord in Tenants sign submission documents will be allowed. The Landlord may, at his discretion and at the Tenant's expense and after proper notice to tenant, correct, replace or remove any sign that is installed without Landlord's written consent, or that is not executed in conformance with the approved submission.

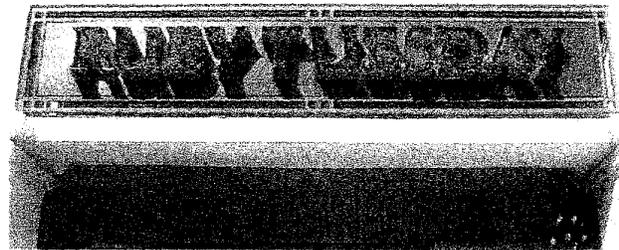
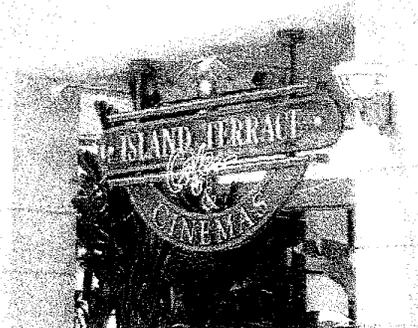
Tenant shall furnish the Landlord with a copy of all sign fabrication and installation permits prior to installation.

### **Primary Project Identification.**

1. Two (2) Freeway oriented pylon signs sixty (60'-0") feet high, a total of three hundred (300 square feet for each sign (See Site Plan page 12 – B1 and B2).
2. One (1) project entry pylon sign thirty-five (35'-0") feet high having a total of three (300) square feet (See Site Plan page 12 – G.1).
3. A series of low monuments each with two (2) tenant names:
  - a) Seven (7) monuments along freeway, at a maximum height of 7'-0" (See Site Plan Page 11 – Signs C1 through C7).
  - b) Three (3) monuments along Cajalco Road, at a maximum height of 5'-0" (See Site Plan Page 11 – Signs D1, D2 and D3).
  - c) Two (2) monument signs along Temescal Canyon Road, at a maximum height of five (5'-0") feet (See Site Plan page 12 – Signs E.1 and E.2).
4. One (1) Low Project I.D. Sign at corner of Cajalco and Temescal Canyon Road (See Site Plan page 11 – Sign A1).
5. Two (2) Project I.D. Signs at main entrance at Cajalco Road (See Site Plan page 11 – Signs A2 and A3).
6. One (1) Project I.D. sign at main entrance at corner of "D" Street and Temescal Canyon Road (See Site Plan page 12- Sign A 4).
7. Vehicle directional signs (See Site Plan page 12 – Sign F.1 – F. 5).

### Primary Tenant Identification

- ◆ All tenants are allowed one primary identification sign typically located above the store entrance in a specific area within the confines of the tenants storefront.
- ◆ Specific suites with building elevations facing multiple exposures may incorporate one additional primary identification sign per exposure, subject to Landlord's approval.
- ◆ Signs may identify the business name and a minimum generic word description of the service. No product identity or specific service descriptions may be displayed.
- ◆ Sign size is based upon the Tenants leased frontage, as measured in a straight line from lease line to lease line for each elevation. Tenants are allowed 1.25 square feet of primary sign area per lineal foot of store frontage.
- ◆ However, based upon an enhancement of mixed media and three-dimension presentation, Landlord may at it's sole discretion, and with the approval of the City of Corona allow an increase of 20% to the maximum sign square footage.
- ◆ However based upon an enhancement of mixed media and three-dimension presentation, Landlord may at it's sole discretion and with the approval of the City of Corona allow an increase of 20% to the maximum sign square footage.
- ◆ The overall width of any sign shall not exceed 70% of any uninterrupted architectural treatment, or leased frontage which ever is smaller.



## **BLADE SIGNS**

- ◆ Each tenant is permitted one blade sign per street front.

The blade sign program requires that each Tenant's graphic identity be transformed into a 3-dimensional double-faced sign. The Landlord encourages the tenant to propose blade sign designs, which enrich the pedestrian environment with a creative use of color and material combined with a strong store name identification.

Additionally:

- ◆ Blade signs may be illuminated or non-illuminated. Illuminated signs may have an internal or external light source.
- ◆ Blade signs shall project no more than 3'-6" from the building face, and shall be no more than 3'-0" in height, with a maximum of eight (8) square feet of area for each face. Clearance from the underside of the blade sign to the finished common area paving shall be a minimum of 7'-6".
- ◆ Proposals for blade sign designs will be reviewed at the time of the tenants overall sign design submission.
- ◆ It is the responsibility of the tenant to ensure that his fabrication and installation contractor includes adequate support for the blade sign and all required electrical services and connection.
- ◆ The blade sign may not be the primary store identification sign and will not be included in the calculation for the overall sign area permitted.

### **Note:**

Landlord is not responsible for structural backing together with the dedicated primary electrical power that may be required to support the blade sign. This must be coordinated with Tenant's Improvement Contractor prior to installation.

Although simple rectangular cabinet signs are generally not allowed, mixed media signs may be composed of several elements, one of which may be a cabinet. However, the cabinet sign should not exceed 50% of the total sign area. Complex shaped (i.e. polyhedron) sign cabinets may be used alone if they incorporate dimensional elements such as pushed-through and or exposed neon.

## SIGN STYLES

Creative and imaginative signage is strongly encouraged and will be the standard for Landlords review/approval of all sign design submittals.

There are many acceptable sign treatments, however a mixed media three-dimensional approach combining several different fabrication and lighting techniques is preferred. Tenants are strongly encouraged to consider the specific architectural style of their façade, the overall concept of the project, the scale of the proposed sign and the critical viewing angles and sight lines when designing appropriate graphics and signs for the storefront. Note that specific locations and surrounding architectural treatments can limit the maximum sign height and length, which may differ from the general guidelines proposed above. The Landlord reserves the right to approve or reject any proposed sign on the basis of its size and placement.

Acceptable sign styles include:

1. 8" deep standard channel letters;
2. Front and halo 5" illuminated channel letters. Note: acrylic face, internally illuminated channel letters will not be permitted unless successfully used as a part of an approved mixed media three-dimensional sign;
3. 3" deep halo illuminated letters;
4. 2-1/2" deep open channel letters with exposed neon (at Landlord's discretion);
5. Mixed media/3-dimensional signs using images, icons, logos, etc;
6. Signs painted gold, silver or copper leaf;
7. Neon accents will be approved at the sole discretion of the Landlord and should be proposed only if a part of the overall tenant design concept;
8. Dimensional, geometric shapes;
9. Sand blasted, textured, and/or burnished metal-leaf faced dimensional letters, pin mounted from façade;
10. Signs mounted to hard canopies, eyebrows or other projecting architectural elements;
11. Screens, grids, or mesh;
12. Etched, polished, patina or abraded materials.

Notes:

Mixed media signs are signs employing two or more illumination and fabrication methods (for example, halo lit reverse channel letters exposed neon accents).

Although simple rectangular cabinet signs are generally not allowed, mixed media signs may be composed of several elements, one of which may be a cabinet. However, the cabinet sign should not exceed 50% of the total sign area. With the Landlord's approval, complex shaped (i.e. polyhedron) sign cabinets may be used alone if they incorporate dimensional elements such as push-thru letters and or exposed neon.

## **TYPE STYLES AND LOGOS**

The use of logos and distinctive type styles is encouraged for all tenants signs. Sign lettering should be combined with other graphic and or dimensional elements denoting the type of business. The tenant may adapt established styles, logos and/or images that are in use on similar buildings operated by the tenant in California, provided that these images are architecturally compatible and approved by the Landlord. The typeface may be arranged in one or two lines of copy and may consist of upper and/or lower case letters. The tenant should identify trademark protected type and marks in their sign submission to assist the Landlord in the review process.

## **THE FOLLOWING SIGN STYLES AND ELEMENTS ARE PROHIBITED.**

1. Unadorned rectangular cabinet signs with translucent or opaque faces;
2. Temporary wall signs, pennants, banners, inflatable displays or sandwich boards;
3. Window signs unless approved by the Landlord (Note: box signs hanging in display windows are not allowed);
4. Gold leaf treatments on windows, box signs and exposed neon window displays without Landlords written approval. Note: Approval is at Landlords sole discretion. Off-the shelf signs are discouraged;
5. Exposed junction boxes, wires, plug in wires on window signs, transformers, lamps, tubing, conduits, raceways or neon crossovers of any type;
6. Signs using trim-cap retainers that do not match the color of the letter and logo returns (polished gold, silver or bronze trim caps are not permitted);
7. Pre-manufactured signs, such as franchise signs, that have not been modified to meet these criteria;
8. Paper, cardboard or Styrofoam signs, stickers, or decals hung around or behind storefronts;
9. Exposed fasteners, unless decorative fasteners are essential to the sign design concept;
10. Flashing, oscillating, animated lights or other moving sign components, except as specifically approved by the Landlord;
11. Rooftop signs or signs projecting above roof lines or parapets;
12. Advertising or promotional signs on parked vehicles;
13. Exposed raceway, unless it forms a creative design element of the sign;
14. Sign company decals in full view (limit to one placement only).

## **COLORS**

The following guidelines are for selecting colors for Tenant's signing. The project and the individual building façade will consist of a variety of colors and materials. The Landlord encourages the tenant to consider these colors when choosing sign colors, and where feasible the Landlord will consider the tenants color scheme when making final building color and material choices. Tenants are requested to make early color submission for review by the Landlord, although final determination of building colors will follow from on site mock-ups and draw downs reviewed and approved during construction of the base building shell.

- ◆ Signs may incorporate regionally and nationally recognized logo colors;
- ◆ Sign colors should be selected to provide sufficient contrast against building background colors;
- ◆ Sign colors should be compatible with and complement building background colors;
- ◆ Sign colors should provide variety, sophistication and excitement;
- ◆ Color of letter returns shall match the face of the letter or match the wall surface color;
- ◆ Interior of open channel letters should be painted dark when placed against light backgrounds;
- ◆ Accent neon colors should complement related signing elements.

## **LIGHTING**

Tenant signs should be creatively illuminated using a variety of lighting techniques. One or more of the following are allowed:

1. Front and halo illuminated channel letters;
2. Halo illuminated pin-mounted reverse channel letters;
3. Reverse channel neon with silhouette illumination;
4. Open channel with exposed neon;
5. Fiber optics;
6. Incandescent light bulbs;
7. Internally illuminated signs with seamless opaque cabinets and pushed-thru lettering and/or neon;
8. Cove lighting.

Note: Exposed neon tube may not be less than 13mm.

If it is determined by Landlord that the primary lighting of tenant's wall sign or blade sign is too intense, the Landlord may require at Tenant's expense to install a dimmer switch.

All front lighting must be baffled and obscured from direct visibility with recessed channels, which are fully integrated into the building façade elements. Decorative shrouds or housings custom designed and fabricated to maintain or enhance the architectural integrity of the building may be used to conceal "off the shelf" standard fixtures subject to Landlord's approval. Visible standard (non-custom) "gooseneck" lamps and similar fixtures will not be approved. All housings and posts for exposed neon signs must be painted to match or complement the building façade color immediately behind and adjacent to the sign.

All sign letters to be pegged a minimum 2" from wall.

## APPROVAL

The Landlord has engaged the services of a sign consultant for the entire project who will assist in the review and approval of tenant sign submissions and insure their conformance to the project's overall Sign Criteria.

At least thirty (30) days prior to the Landlord's scheduled delivery of the premises, tenant shall provide the following information to the Landlord for review.

Note:

This information is separate from sign approval submission and store design and drawing submissions, and will be used to begin the sign design process.

- Store name;
- Store logo (in color with colors identified);
- Store interior materials, colors and finishes.

Allowing reasonable time for Landlord's review and tenant's revision of submission in advance of sign fabrication, tenant shall submit for Landlord's approval five (5) sets of complete and fully dimensioned shop drawings of the tenant's sign to the Landlord's tenant coordinator.

Shop drawings shall include at least the following:

1. Tenant's entire building façade elevation, showing the proposed sign, in color drawn to scale of  $\frac{1}{4}'' = 1'-0''$ .
2. Storefront (partial building) elevation showing the location, size, color, construction and installation details of the tenants proposed sign.
3. Typical "section-through" letter and/or sign panel showing the dimensioned projection of the letter or panel face and the illumination method.
4. Color and material samples together with a photograph (if possible) of a similar installation.
5. Within seven (7) days of receipt of the sign submission, the Landlord will approve, as noted, or disapprove with comments the tenant's sign design. Tenant must respond to the Landlord's comments and re-submit within fourteen (14) calendar days, and repeat this process until all sign design, fabrication and installation issues are resolved to the Landlord's satisfaction.

Upon receipt of final sign approval, tenant may submit the proposed sign to the City of Corona for review for consistency with sign program and the required fabrication and installation permits. Tenants are required to provide three (3) sets of Landlord approved drawings to the City of Corona when submitting for building permits.

## FABRICATION

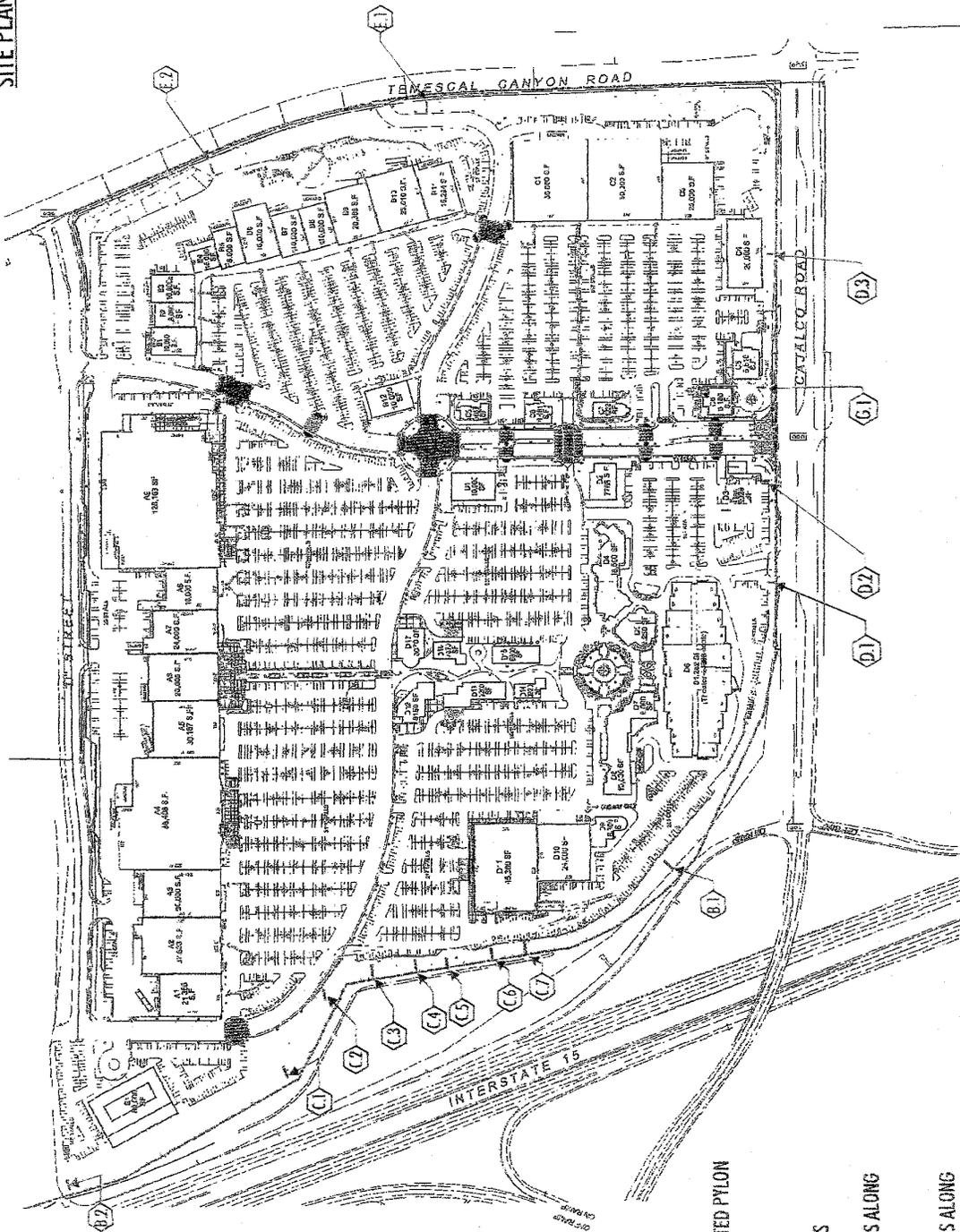
1. The tenant must insure that his sign fabricator and installer understand their responsibilities before they begin sign fabrication. The tenant's sign contractor(s) are responsible for the following;
2. Signs must be fabricated of durable appropriate weather resistant materials complementary to the base building materials;
3. Dissimilar metals used in sign fabrication shall be separated with non-conductive gaskets to avoid electrolysis. Additionally, stainless steel fasteners shall be used to attach dissimilar metals;
4. Threaded rods or anchor bolts shall be used to mount sign letters, which are held off the background panel. Angle clips attached to letter sides will not be permitted;
5. Colors, materials and finishes shall exactly match those submitted to and approved by the Landlord;
6. Visible welds and seams shall be ground smooth and filled with auto body compound before painting;
7. No fasteners, rivets, screws or other attachment device shall be visible from any public vantage point;
8. Finished metal surfaces shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips and runs and shall have a uniform surface conforming to the highest industry standards;
9. Reverse channel letters shall be pinned 2" off the wall. The letter return depth shall be minimum 3" and letters shall have a clear *Lexan*® backing;
10. Double neon tube shall be used where the width of the letter stroke exceed 2 ½ inches.

## INSTALLATION

The Tenant's sign installer will:

- ◆ Provide the Landlord with an original certificate of insurance naming the Landlord as an additional insured for liability coverage in the amount of One Million Dollars ( \$1,000,000) prior to beginning fabrication;
- ◆ Obtain all required sign permits from the City of Corona and deliver copies to the Landlord before installing the sign/s;
- ◆ Keep an Landlord approved set of sign drawings on site when installing the sign;
- ◆ Warrant the sign against latent defects in materials and workmanship for a minimum of one year.

**SITE PLAN**

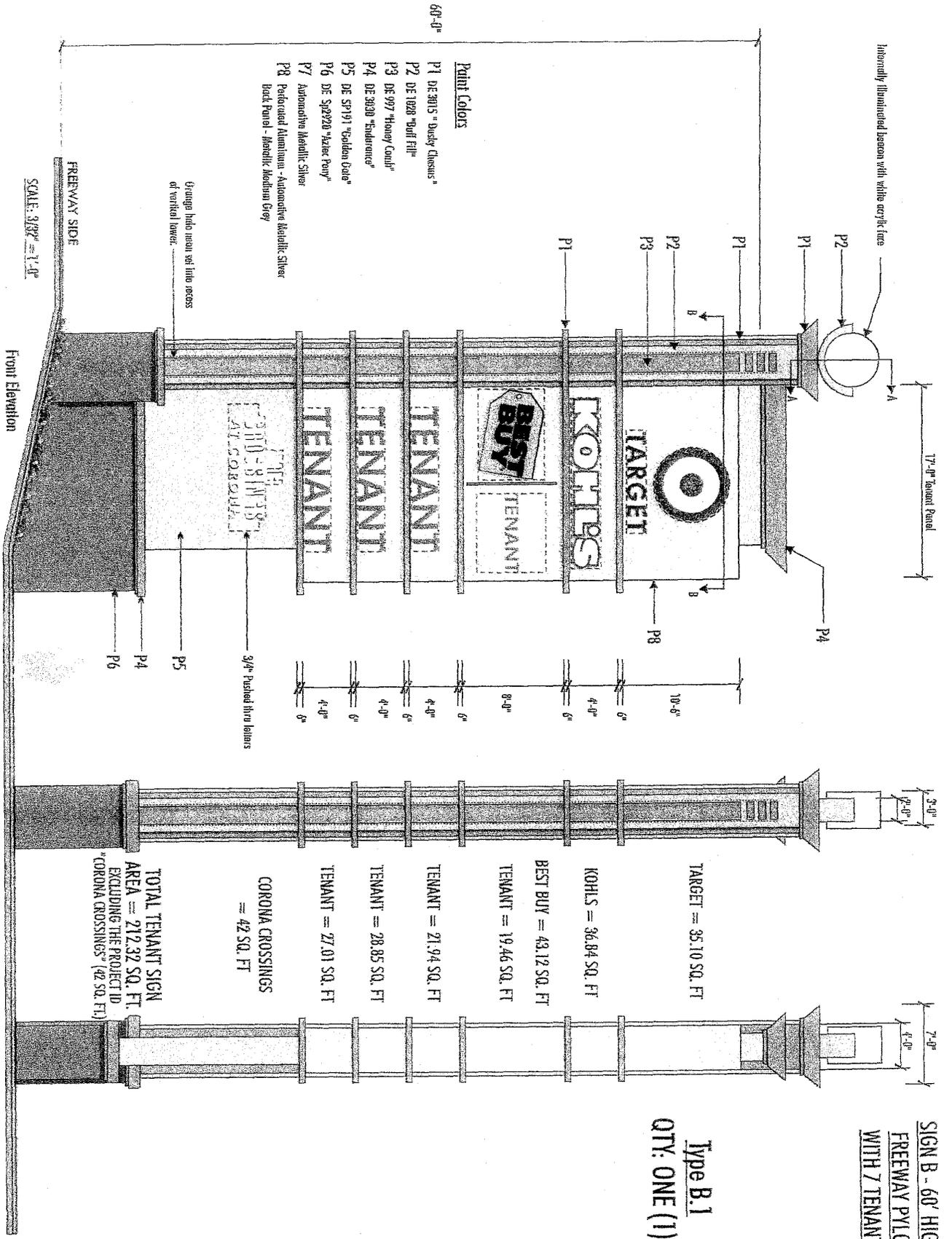


NEC Highway 15 & Cajalco Road  
Corona, California

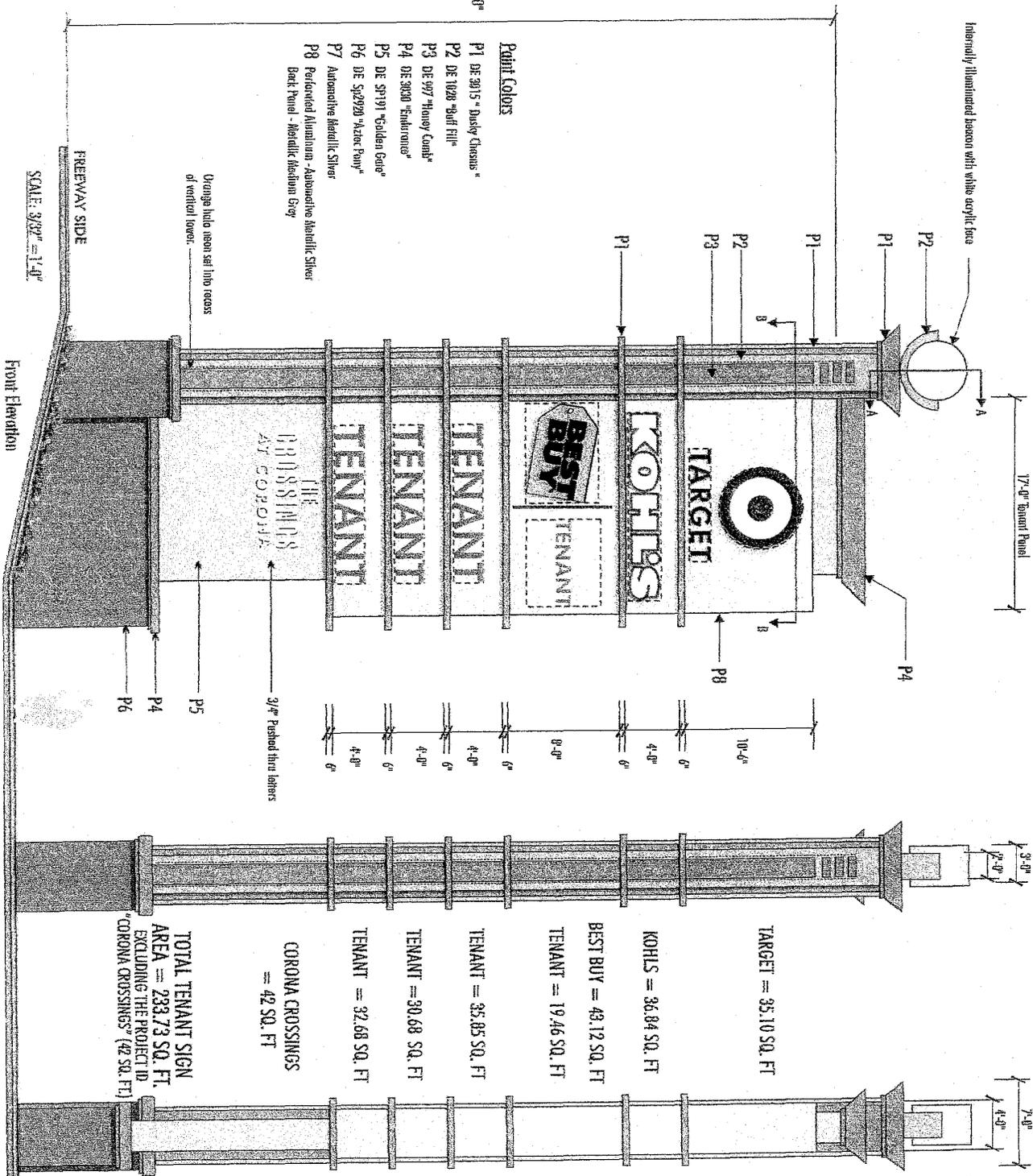
- B** 60' HIGH FREEWAY ORIENTED PYLON SIGNS WITH 7 TENANTS
- C** FREEWAY ORIENTED TENANT MONUMENT SIGNS
- D** TENANT MONUMENT SIGNS ALONG CAJALCO ST
- E** TENANT MONUMENT SIGNS ALONG TEMESCAL CANYON RD
- G** 35' HIGH TENANT PYLON SIGN WITH 6 TENANTS

**SIGN B - 60' HIGH  
FREEWAY PYLON  
WITH 7 TENANTS**

**Type B.1  
QTY: ONE (1)**



Internally illuminated beacon with white acrylic face



**SIGN B - 60' HIGH  
FREEWAY PYLON  
WITH 7 TENANTS**

**Type B.2  
QTY: ONE (1)**

**Point Colors**

- P1 DE 3015 - Dusky Chassis \*
- P2 DE 1028 - Gulf Fill\*
- P3 DE 997 - Honey Comb\*
- P4 DE 3030 - Finkroner\*
- P5 DE SP191 - Golden Gate\*
- P6 DE SP2930 - Water Pump\*
- P7 Automotive Metallic Silver
- P8 Perforated Aluminum - Automotive Metallic Silver

Change into neon seal into recess of vertical tower.

SCALE: 3/8" = 1'-0"

**TOTAL TENANT SIGN  
AREA = 233.73 SQ. FT.  
EXCLUDING THE PROJECT ID  
"CORONA CROSSINGS" (42 SQ. FT.)**

**CORONA CROSSINGS  
= 42 SQ. FT.**

**TENANT = 32.68 SQ. FT.**

**TENANT = 30.68 SQ. FT.**

**TENANT = 35.85 SQ. FT.**

**TENANT = 19.46 SQ. FT.**

**BEST BUY = 43.12 SQ. FT.**

**KOHL'S = 36.04 SQ. FT.**

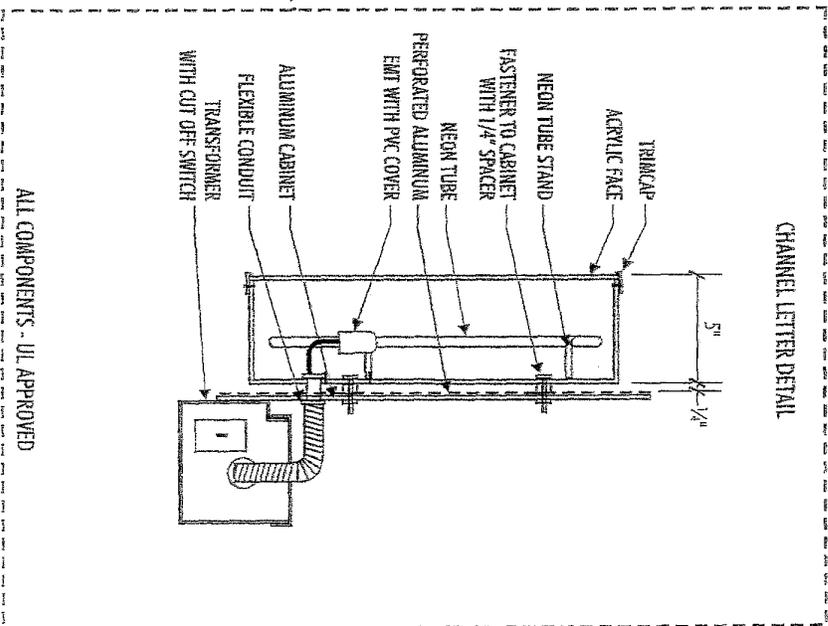
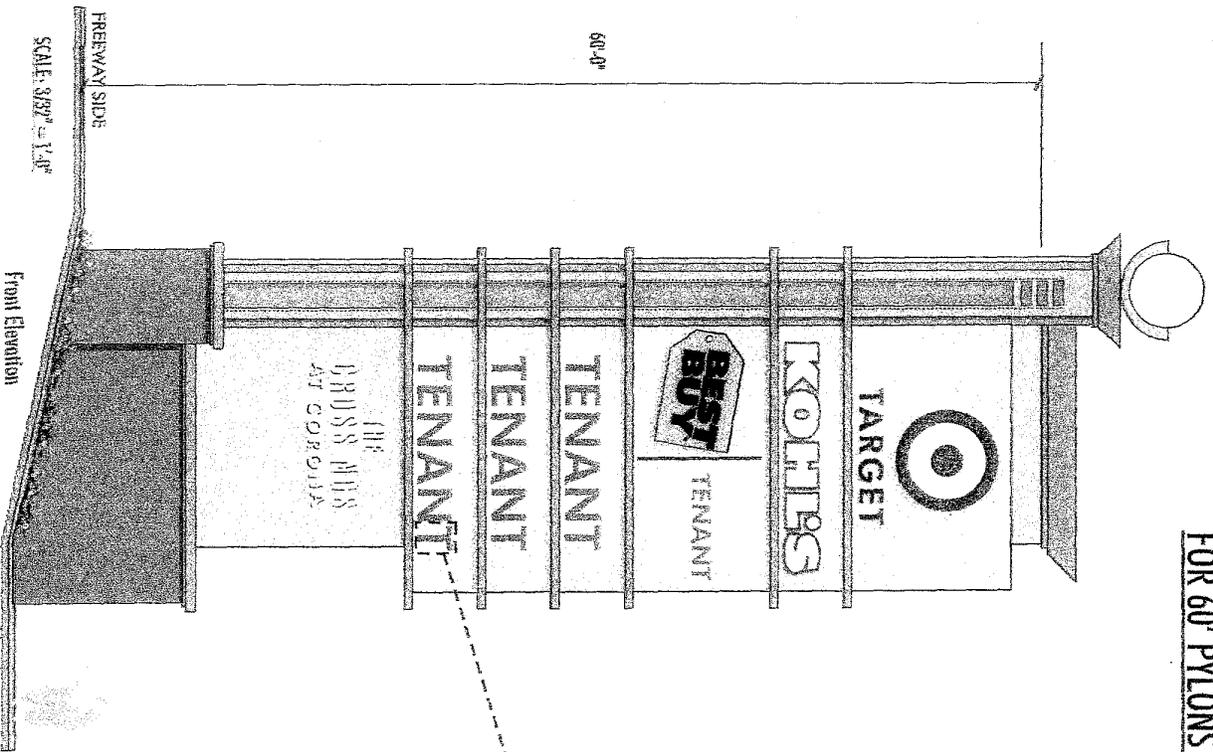
**TARGET = 35.10 SQ. FT.**

Freeway Side Elevation

Shopping Center Side Elevation

**FOR 60' PYLONS - B.1 & B.2 ONLY**

**SIGN B - 60' HIGH FREEWAY PYLON  
CHANNEL LETTER DETAIL**

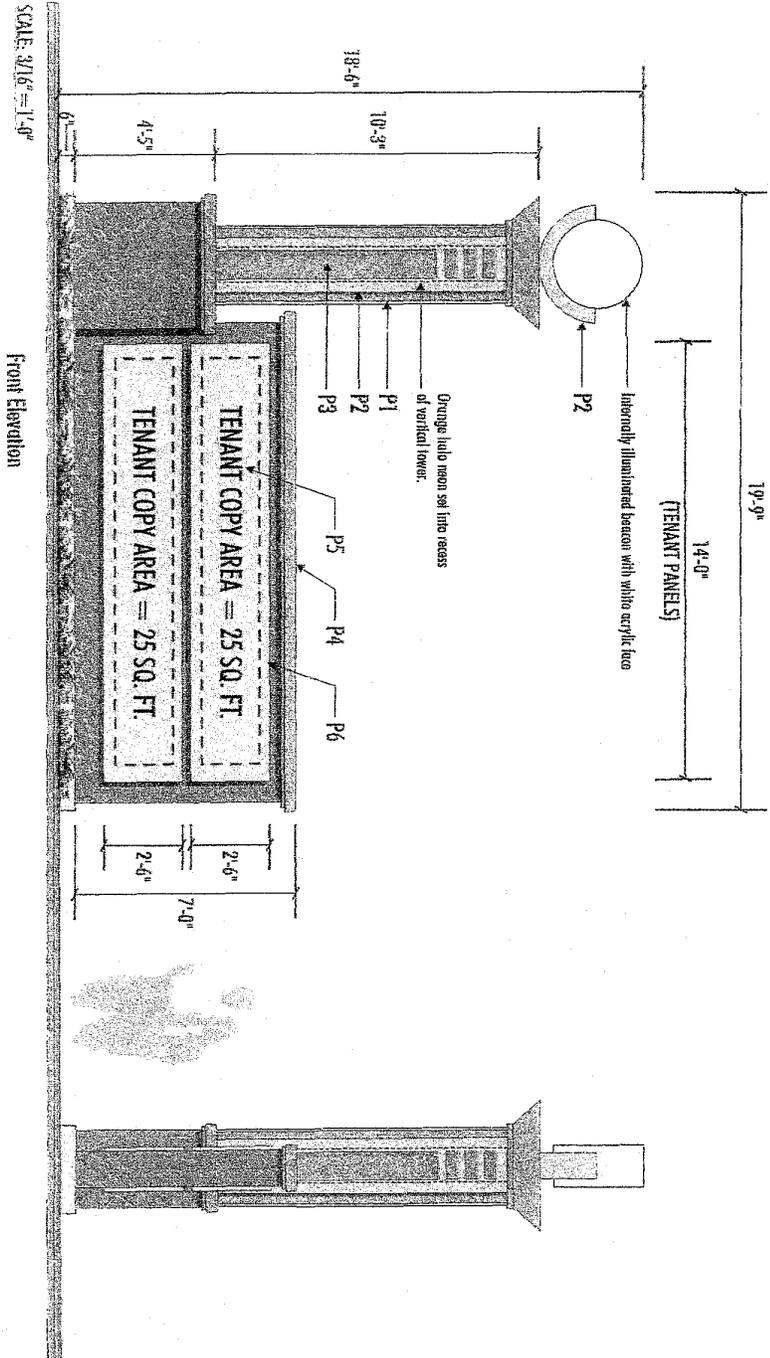


ALL COMPONENTS - UL APPROVED  
 PRIMARY ELECTRICAL = 120 V  
 DEDICATED CIRCUITS = (10) X 20AMP CIRCUITS PER EACH PYLON

**SIGN C - FREEMWAY ORIENTED  
TENANT MONUMENT SIGNS**

**Paint Colors**

- P1 DE 3015 "Dusky Chimes"
- P2 DE 1028 "Soft Blue"
- P3 DE 997 "Honey Comb"
- P4 DE 3020 "Endurance"
- P5 DE SP191 "Golden Gate"
- P6 DE SP220 "Katie Popp"



**QTY: SEVEN (7)**

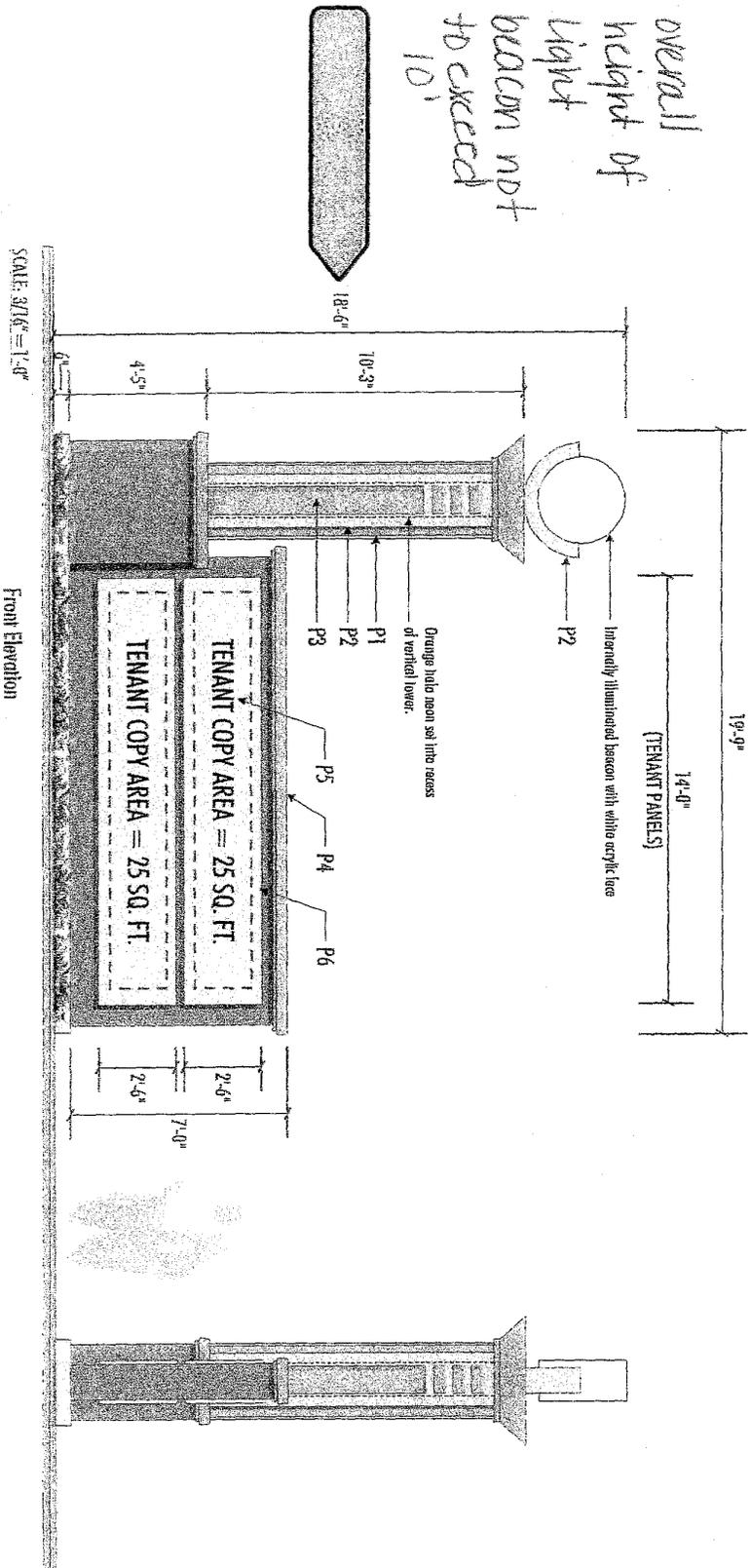
**SIGN D - TENANT MONUMENT SIGNS  
ALONG CAJALCO ROAD**

**Paint Colors**

- P1 DE 3015 "Dusky Cheesus"
- P2 DE 1028 "Sant Elm"
- P3 DE 997 "Honey Comb"
- P4 DE 3090 "Endurance"
- P5 DE SP191 "Baldan Gate"
- P6 DE SP7920 "Aztec Pump"

**QTY: THREE (3)**

overall  
height of  
light  
beacon not  
to exceed  
10'

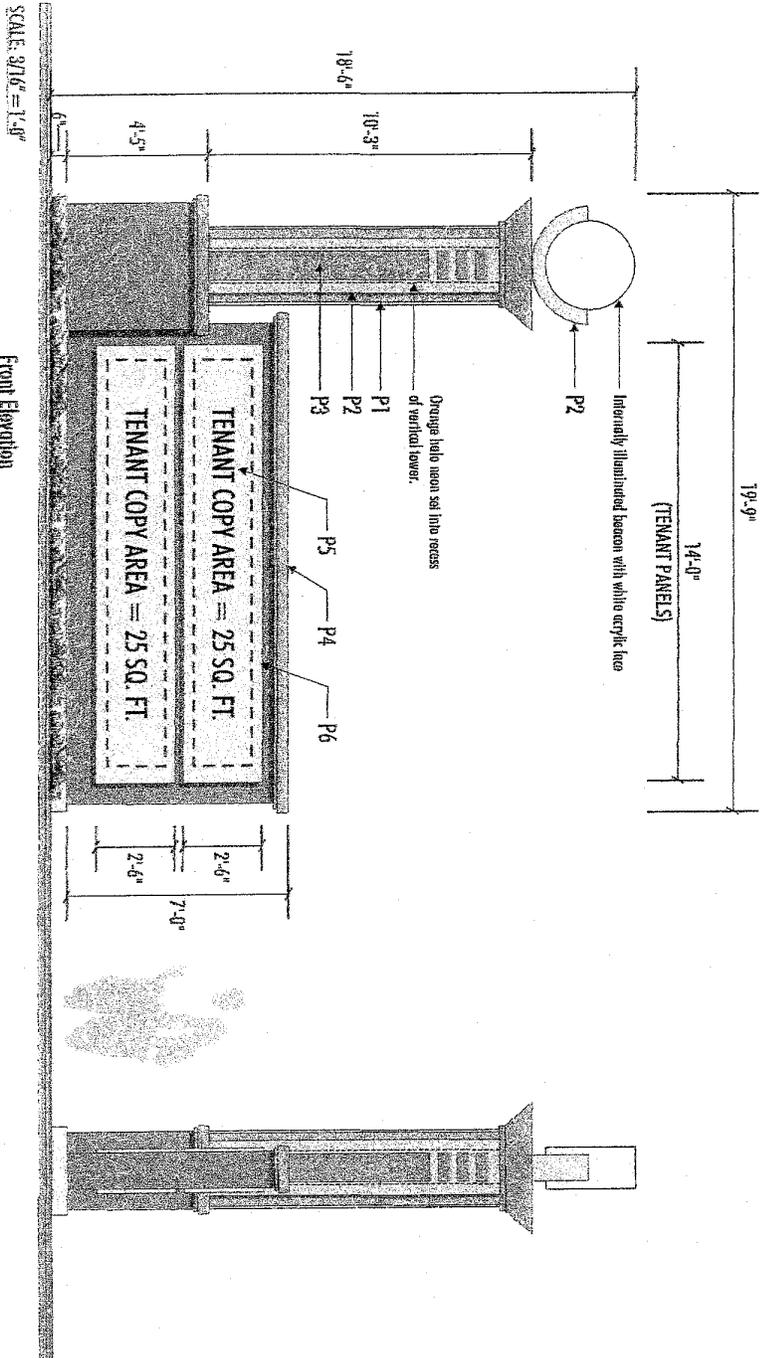


SCALE: 3/16" = 1'-0"

Front Elevation

**SIGN E - TENANT MONUMENT SIGNS  
ALONG TEMESCAL CANYON ROAD**

- Paint Colors**
- P1 DE 3015 "Dusky Cheeks"
  - P2 DE 1028 "Soft Fill"
  - P3 DE 997 "Honey Comb"
  - P4 DE 3038 "Endzone"
  - P5 DE SP191 "Golden Gate"
  - P6 DE SP2920 "Aztec Pony"



QTY: TWO (2)

**SIGN G - 35' HIGH TENANT PYLON SIGN  
WITH 6 TENANTS**

